



Asbestos Management & Refurbishment Survey **Report**



Asbestos Management Survey Report

58 Verwood Close, Park North, Swindon, SN3 2LE



Undertaken by	
<u>SWINDON ASBESTOS SURVEYING LTD</u>	
Checked by:	Kate Russell
Verified/Signature:	
Date of Survey:	31 August 2011
Date of Report:	7 September 2011
<u>Job No:</u>	<u>SAS5619/10445923</u>
Authorising Surveyor:	Chris O'Sullivan
Verified/Signature:	
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<u>Contents – Management Survey</u>	<u>Pages</u>
Facing Page	1
Cover Sheet	2
Contents	3
Executive Summary	4
No Access Areas	5
Introduction	6
Survey Information	7 - 9
Material Risk Assessment	10 - 13
<ul style="list-style-type: none">• Algorithm• Accessibility & Vulnerability Score• Recommended Actions• Advised Timescale for Recommended Actions	
Additional Actions for Duty Holder	14
General Safety Recommendations	15
Appendix A: Survey Summary Sheets	
Appendix B: Survey Data Sheets	
<ul style="list-style-type: none">• Survey Conclusions & Recommendations	
Appendix C: Bulk Analysis Certificate (Prepared by PJJ Laboratories Ltd)	



Executive Summary

The content of this report relates exclusively to the findings of the Management Survey undertaken in accordance with HSG 264 'Asbestos: The survey guide' of 58 Verwood Close, Park North, Swindon, SN3 2LE.

The purpose of the survey is to locate, as far as reasonable practicable, the presence and extent of any suspect asbestos containing materials and assess their condition.

The following asbestos containing materials have been identified, presumed or strongly presumed:

Location	FI	Asbestos Containing Material	M.A.S	Recommended Action
Entrance Hall	G	Floor tiles & adhesive	3	Leave & Manage
Kitchen	G	Ceiling textured coating	4	Repair
Kitchen	G	Floor tiles & adhesive	2	Leave & Manage
Boiler Cupboard	G	Floor tiles & adhesive	2	Leave & Manage
Meter Cupboard	G	Floor tiles & adhesive	2	Leave & Manage
Lounge	G	Floor tiles & adhesive	2	Leave & Manage
Lounge	G	Presumed rope seal to fire surround	4	Further Investigation / Leave & Manage
Passage	G	Presumed asbestos insulation board linings within Berry Magicoal storage heater	7	Further Investigation / Leave & Manage
Bathroom	G	Floor tiles & adhesive	2	Leave & Manage
Bathroom	G	Strongly presumed asbestos cement soil vent pipe (under bath)	5	Further Investigation / Leave & Manage

The recommended action provided has been determined by the Material Assessment Score and observations made by the surveyor during the survey only. The duty holder must undertake a priority assessment in addition to the findings of this report in order to comply with CAR 2006.



No Access Areas

The following table details all areas not accessed during the survey. Although they may be accessible at other times, for the reasons specified they were not available for inspection during the survey.

Location	FI	Access Restriction
No electrical components were inspected as they were live at the time of the survey.		
No gas appliance components were inspected as they were live at the time of the survey.		

It is imperative that the client assumes that all areas not accessed during the survey contain asbestos and manage them on this basis pending further investigation; the areas must be revisited as soon as practicable to enable an accurate assessment to be made. No works should be undertaken in the area until the presence of asbestos is confirmed or refuted.

This report must be read in conjunction with any other asbestos survey undertaken at this property.

If any refurbishment or destructive work is scheduled at this property, consideration must be given to a Refurbishment or Demolition Survey before the work starts.



Introduction

Swindon Asbestos Surveying Ltd, Aavid Thermalloy House, Cheney Manor Industrial Estate, Swindon, Wilts, SN2 2QN has been instructed by Mr John Regan of Swindon Commercial Services Ltd, Waterside Park, Darby Close, Cheney Manor Industrial Estate, Swindon, Wilts, SN2 2PN to undertake a Management Survey of 58 Verwood Close, Park North, Swindon, SN3 2LE. No additional areas were included in the scope of survey.

The survey was undertaken on the 31 August 2011 by C. O'Sullivan.

The property comprises a brick built two bedroom flat which is a domestic dwelling constructed circa 1957.

The client does not require labelling of sample points as the property is a domestic dwelling.

The purpose of the survey is to locate, as far as practicable, the presence and extent of any suspect asbestos containing materials which may be damaged or disturbed during normal occupancy and assess their condition, in order to produce this report and assess whether any remedial action is required.

The information collated in this survey report provides the basis for an asbestos register, risk assessment and management plan which are required in order to comply with CAR 2006. Interpretation of the results and risk assessments are outside the scope of this survey, the duty holder and/or appointed person must carry out their own risk assessment and plan for the management of asbestos containing materials within these areas of the premises.

It is your responsibility as the duty holder and/or appointed person to ensure this information remains current; therefore any changes or remedial actions must be recorded appropriately on the register to enable continued management of asbestos containing materials in your premises.

A priority risk assessment can be provided under separate cover if required but will be outside the scope of our UKAS accreditation.

This report is based on a management survey and is representative of the situation at the time of inspection.

This report shall not be reproduced except with the expressed approval of Swindon Asbestos Surveying Ltd and the client.



Survey Information

HSG 264 "Asbestos: The survey guide" defines a management survey as the standard survey. Its purpose is to locate, as far as reasonably practicable, the presence and extent of any suspect asbestos containing materials (ACM) which could be damaged or disturbed during normal occupancy, including foreseeable maintenance, and to assess their condition.

Management surveys will often involve minor intrusive work and some disturbance. The extent will vary between premises and depend on what is reasonably practicable for individual properties. A management survey will include an assessment of the condition of the various ACMs and their ability to release fibres into the air if they are disturbed. This 'material assessment' will give a good guide of the priority for managing ACMs as it will identify the materials which will most readily release airborne fibres.

The survey will usually involve sampling and analysis to confirm the presence or absence of ACMs. However a management survey can also involve presuming the presence of asbestos.

Management surveys are only likely to involve the use of hand tools. Any areas not accessed must be presumed to contain asbestos and will have to be managed on this basis i.e. maintenance or other disturbance work should not be carried out in these areas until further checks are made.

The requested buildings and or areas of the building were thoroughly inspected for materials suspected to contain asbestos and samples were taken by the surveyor where considered necessary, including photographic records. Where one type of material appeared to be extensive, only representative samples were taken. Any sample taken has been analysed by an independent UKAS accredited laboratory.

Where a material is not sampled but is strongly presumed or presumed to contain asbestos it is noted as such and a material assessment is still generated.

A material may be strongly presumed to contain asbestos based on previous laboratory analysis of similar materials, knowledge that the use of asbestos was commonplace during manufacturing or the material has the appearance of asbestos i.e. clearly visible fibres. This is likely to occur in instances where it is physically impracticable at the time of survey to obtain a sample i.e. the material is at height, inside a live appliance or under fixed floor coverings (in the case of floor tiles where they have already been identified at the property).

A material may be presumed to contain asbestos if the surveyor cannot categorically conclude that it does not contain asbestos, therefore it is presumed to be asbestos containing by default. This is likely to occur in instances where it is physically impracticable at the time of survey to obtain a sample or sufficiently visually inspect the material i.e. a firebreak located some distance from the point of access in a ceiling void which is obstructed by ducting and cables.

This report is based upon a non-destructive inspection. All reasonable efforts were made to inspect areas requested by the client to identify the physical presence of materials containing asbestos. Risers, voids and structural ducts were inspected where readily demountable covers existed at access points.



However;

This report may not identify all asbestos containing materials as the extent of material was assessed visually and should be considered as a measure only. Additional sampling is recommended if other asbestos materials are suspected at a later date. Where asbestos materials prevented further access to areas (e.g. above asbestos ceilings), no investigation was carried out and the report was duly notarised.

- Floor finishes such as fitted or fixed linoleum, laminate flooring and carpets were not taken up unless easily accessed.
- Inspection covers and underground drainage were not accessed.
- Examination of substrates to walls, floors and ceilings were not carried out, as the survey is non-intrusive.
- No appliances or machinery were dismantled for the inspection process.
- Shuttering inside precast concrete floors was not inspected as the survey is non-intrusive.
- Under precast concrete floors was not inspected as the survey is non-intrusive.
- Areas still under normal occupation were not inspected if surveying activities posed a risk to occupants.
- Live electrical installations were not dismantled for the inspection process.
- Live gas installations were not dismantled for the inspection process.
- Areas already deemed as an unsafe structure such as failing floor boards, un-boarded loft areas, flooded areas and confined spaces were not inspected, unless by prior arrangement with appropriate safety precautions in place.
- Operational equipment and machinery (boilers, heaters etc) were not dismantled for the inspection process.
- Locked and or sealed areas such as strong rooms and safes etc were not inspected.
- Hidden areas within the structure of the building such as fully bricked and or concrete sealed voids and risers were not inspected as the survey is non-intrusive.
- Sealed areas which may contain asbestos materials which have been utilised as packers ad hoc throughout the site were not inspected as the survey is non-intrusive. Such areas will include, but not be limited to roof and or floor joists, internal areas to door and window frames.
- Internal construction of doors, where damage can be considered to compromise fire resistance and hence the fire safety of the building, were not accessed.
- When sampling behind door frames, skirting boards etc, and a large number may be present throughout the site, a representative number of items will be inspected and presumed to be consistent in all other cases.
- Any areas to the exterior of the building where survey damage would be considered to compromise the building's security were not accessed.



- Below top soil or other surfaces to the exterior of the structure or internally to the sub floor areas were not inspected as the survey is non-intrusive.
- Areas below or behind existing building fabric which would require part demolition of the structure were not inspected as the survey is non-intrusive. For example large areas of boarded floors which would require complete removal of the entire floor to enable access behind or under each joist.
- Any area where access is not possible whilst utilising normal survey access equipment (two stage ladders), or a maximum of 3 metres in height was not inspected due to the Health and Safety implications of working at height, unless prior arrangements have been confirmed.
- Any items stored within the buildings which do not form part of the fabric or structure of the building such as boxes, cupboards and storage crates etc were not inspected.
- This list is not exhaustive

Survey planning and procedure

The duty holder's requirements have been established and the type and scope of survey(s) to be undertaken agreed at the initial consultation stage.

Where available, floor plans, previous surveys and pre-existing documentation concerning the structure, construction and details of adaptations have been obtained.

Site specific details have been obtained from the duty holder including safety and security information, permits to work and access arrangements to ensure the survey is completed efficiently, effectively and safely. Where this is not the case and limitations are discovered during the survey they have been recorded appropriately.

A desk top study has been undertaken in order to plan the execution of the survey. Contributing factors including the nature, age and construction of the site have been considered and the survey has been properly resourced.

Any anomalies arising during the survey which impact on the scope of survey have been relayed to the client in a timely manner and resolved as far as practicable. Any further requirements have been identified in the contract review.

The survey was carried out in accordance with our internal Surveying Procedure QP12 and the "HSG 264 Asbestos: The survey guide" guidance for the surveying, sampling and assessment of asbestos containing materials.

Swindon Asbestos Surveying Ltd surveyors operate with independence, impartiality and integrity and are sufficiently trained, experienced and authorised in all aspects of the surveying work being undertaken.

Swindon Asbestos Surveying Ltd is accredited by the United Kingdom Accreditation Service (UKAS) to undertake surveying for asbestos in premises.



Material Assessment Score Algorithm

The four main parameters which determine the potential an asbestos containing material has to release fibres, when subject to a standard disturbance, are shown as per the HSG 264 scoring algorithm below:

Sample variable	Score	Examples of scores
Product Type (including debris)	1	Asbestos-reinforced composites: plastics, resins, mastics, roofing felts, vinyl floor tiles, semi-rigid paints or decorative finishes, asbestos cement.
	2	Asbestos insulation board, millboards, other low-density insulation boards, asbestos textiles, gaskets, ropes and woven textiles, asbestos paper and felt.
	3	Thermal insulation (e.g. Pipe and boiler lagging), sprayed asbestos, loose asbestos, asbestos mattresses and packing.
Extent of damage/deterioration	0	Good condition: no visible damage
	1	Low damage: a few scratches or surface marks, broken edges on boards, tiles etc
	2	Medium damage: significant breakage of materials or several small areas where material has been damaged revealing loose asbestos fibres
	3	High damage: delamination of materials, sprays and thermal insulation. Visible asbestos debris
Surface Treatment	0	Composite materials containing asbestos: reinforced plastics, resins, vinyl tiles.
	1	Enclosed sprays and lagging, Asbestos insulation board (with exposed face painted or encapsulated), asbestos cement sheets etc
	2	Unsealed Asbestos insulation board, or encapsulated lagging and sprays
	3	Unsealed lagging and sprays
Asbestos Type	1	Chrysotile
	2	Amphibole asbestos excluding crocidolite
	3	Crocidolite
Total		

The Potential for Fibre Release (P.F.R) rating is defined as;

Materials with assessment scores of 10 or more are regarded as having a high potential to release fibres, if disturbed.

Scores of between 7 and 9 are regarded as having a medium potential to release fibres.

Scores of between 5 and 6 are regarded as having a low potential to release fibres.

Scores of 4 or less have a very low potential to release fibres.



Accessibility/Vulnerability Score

In addition to the four parameters of the material assessment it is a requirement of an asbestos management survey to record how accessible or vulnerable an ACM is to sustaining damage. An evaluation has been made using the following scoring system:

Accessibility factor	Score	Examples of scores
Inaccessible or Remote	1	soffits, fascia, gas fires, distribution boards, fuse boxes, lift motor machinery, roof sheeting, felts or tiles, gutter linings or flashings, rope seals or putty to windows, covered floor tiles or linoleum, high level rainwater goods, autoclave linings
Occasional disturbance likely	2	sink pads, loft tanks, textured coating to ceilings, ceiling panels, external medium to high level profile sheeting, cladding or slates, gaskets
Easily disturbed, easily accessed	3	window sills, wall panels, textured coating to walls, external low level profile sheeting, cladding or slates and rainwater goods
Routinely disturbed	4	fire doors, exposed floor tiles or linoleum, toilet cisterns, banisters, step nosing, lab bench or propagation worktops, larder shelving, bath panels



Recommended Actions

Where an asbestos material has been identified or presumed, a recommended action has been allocated to it. This is dependent upon the product type (e.g. spray insulation, asbestos insulating board, floor tiles, asbestos cement sheeting etc.), condition, surface treatment, asbestos type, location, vulnerability to damage and observations made by the surveyor at the time of survey (please note that the sample description, material type and comments/observations are opinions of the surveyor at the time of survey).

The following recommended actions can be allocated to an identified or presumed asbestos material:

Leave & Manage

The material may be left in situ and warning labels applied at the client's request. Undertake continued regular recorded inspections on the condition of the material as dictated in the asbestos register and management plan.

Encapsulate/Reseal

The material requires encapsulation (e.g. enclose, seal over, or paint with a proprietary encapsulating material), thereafter the material may be left in situ and warning labels applied at the client's request. The asbestos register and management plan must be updated to record the remedial action undertaken. Undertake continued regular recorded inspections on the condition of the material.

Remove /Repair

The material requires removal or repair within the legislative requirements of the following:

Health and Safety at Work Act 1974

Management of Health & Safety at work regulations 1999

Control of Asbestos Regulations 2006.

Current HSE Approved Codes of Practice (ACOPS) including L127 and L143

The asbestos register must be updated to record the remedial action undertaken.

Investigate Further

Where a material is presumed to contain asbestos or areas have not been accessed during the survey, a recommendation for further investigation will be made (e.g. additional access requirements for sampling at height or isolation of live plant etc.). It is imperative that all no accessed areas are recorded on the asbestos register and management plan whilst further investigation is pending.



Advised Timescale for Recommended Action

An advisory timescale for implementation of the recommended action is provided which is calculated by combining the total material assessment score with the accessibility/vulnerability score and assigned to each asbestos material as follows:

Combined Total	Action Timescale (from date of report)
HIGH (12+)	1 to 3 months - Urgent attention required followed by regular recorded inspection if applicable Once completed the Asbestos Register must be notarised accordingly
MEDIUM (9 – 11)	3 to 6 months - Near term attention required followed by regular recorded inspection if applicable Once completed the Asbestos Register must be notarised accordingly
LOW (7 – 8)	6 months – ACMs will normally only require regular 6 monthly recorded inspections Each inspection should be duly notarised in the Asbestos Register.
VERY LOW (3 – 6)	12 months - ACMs will normally only require regular 12 monthly recorded inspections Each inspection should be duly notarised in the Asbestos Register.

Additional Timescale:-

IMMEDIATE	ACMs, which in the opinion of the surveyor require containment and/or restricted access until either full removal or encapsulation can be undertaken by a licensed asbestos removal contractor (i.e. debris)
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Please be advised that this timescale is advisory and does not negate the requirement for a full priority assessment to be generated in order to effectively plan the management of asbestos in your premises.



Additional Actions for the Duty Holder (following completion of the survey)

It is a requirement under the Control of Asbestos Regulations 2006 and Approved Code of Practice L127 The management of asbestos in non-domestic premises (2nd edition 2006), to assess the risk of anyone being exposed to fibres from ACMs.

This assessment should be undertaken by the duty holder and/or the appointed person responsible for managing asbestos within the premises. The HSE define a duty holder as “the person or organisation that has clear responsibility for the maintenance or repair of non-domestic premises through an explicit agreement such as a tenancy agreement or contract”.

The risk of exposure is calculated by combining the total material assessment score provided in this survey with a priority assessment score. The total material assessment score for each identified or presumed asbestos containing material is recorded as follows on the Survey Data Sheets:



Product Type	Extent of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/ Vulnerability	Combined Total for Advised Timescale
1	0	0	1	2	2	4

The duty holder is best placed to undertake the priority assessment as they are equipped with knowledge of occupancy and maintenance activities of the premises. Details of generating the priority assessment are provided in Health & Safety Executive publication HSG227 Managing Asbestos in premises.

The higher the combined material and priority score the greater the risk and therefore the higher the priority for undertaking remedial action. It is this overall risk assessment which forms the basis for the implementation of a management plan for all asbestos materials identified or presumed at the premises. In addition it is also a requirement to ensure that anyone potentially at risk receives information on the location and condition of the asbestos material, so far as it is within the duty holder’s control.



General Safety Recommendations

Disturbance

Where asbestos materials are known or presumed to exist, it is recommended that no uncontrolled disturbance occurs to the material. In particular, active measures must be taken to avoid all breaking, cutting, drilling, sanding and general abrasion of surfaces.

Fibre Release

As disturbance of asbestos containing materials may release respirable fibres into the atmosphere, it is recommended that encapsulation, regular maintenance and removal work on notifiable materials is undertaken in accordance with controlled conditions by an approved and licensed asbestos removal contractor holding a current HSE license.

Remedial Asbestos Works

All removal work or encapsulation should be undertaken in accordance with an approved work method statement, which incorporates all relevant current legislation for asbestos works e.g. Approved Codes of Practice (current issues) together with the Control of Asbestos Regulations (current issue) and The Health and Safety at Work Act.

Disposal

All asbestos products and non-asbestos products which have become contaminated by asbestos are classified as hazardous waste under the Hazardous Waste Regulations 2005 (England and Wales) and require disposal at licensed sites. Loose asbestos products (pipe insulation, sprayed insulation, broken boards etc) and any asbestos containing waste weighing more than 500kg, during any 12 month period, require a consignment system to control the transportation of the waste from the location of removal to its final disposal destination.

Air Monitoring

It is recommended that all air monitoring work (i.e. smoke testing, air sampling, fibre counting and visual inspections) is undertaken by an independently appointed UKAS accredited laboratory. It is an HSE requirement that all asbestos work enclosures must be visually inspected and have air clearance certificates issued by the laboratory before they are deemed fit for normal occupation.

Advice to Third Parties

Duty holders must make known the existence, or suspected existence, of asbestos to any contractor, maintenance worker or any other person who is likely to disturb such materials. They must also provide advice on any appropriate precautions to be taken. The current asbestos register should be made available for perusal by contractors, who sign the register to confirm they understand that there may be asbestos present in their work area and adaptations to their usual working methods may be necessary.

Labelling

Asbestos materials likely to be disturbed by maintenance or other workers/persons should be clearly labelled (the 'a' logo is recommended). However, it is accepted that it may not be possible to display labels in public areas as doing so may cause undue concern to the public.



Appendix A: Survey Summary Sheets

Client Ref: 0426005800		Site Location: 58 VERWOOD CLOSE, PARK NORTH, SWINDON, SN3 2LE						Survey Date(s):		31 AUGUST 2011				
SAS Job No: 5619		Surveyor(s): CHRIS O'SULLIVAN & STEVE EASTON						Survey Type:		MS				
Keyed (employee): MICHAELA TUCK/ FLIS HALL				Plan (employee): MICHAELA TUCK				Checked (employee): KATE RUSSELL						
No	Sample Ref/ Visual	FL	Area	Position	Element	Material	Qty	Analysis Result	Mat Type	Ext Dam	Surf Treat	Asb Type	Total	Acc/Vuln
1.	124121	G	ENTRANCE HALL	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	2m ²	CHRYSOTILE	1	1	0	1	3	1
Room Construction: Walls- block/brick work; ceiling- concrete; floor- concrete, floor tiles, adhesive, linoleum tiles; door- UPVC; radiator installed; heating pipe runs- copper.														
2.	124122	G	KITCHEN	CEILING	DECORATIVE COATING	TEXTURED COATING	6m ²	CHRYSOTILE	1	2	0	1	4	2
3.	REFER 124121	G	KITCHEN	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	6m ²	CHRYSOTILE	1	0	0	1	2	1
Room Construction: Walls- block/brick work, ceramic tiles; ceiling- concrete, textured coating; floor- concrete, floor tiles, adhesive, linoleum; door- timber; window- UPVC; sill- ceramic tiles; waste water pipes- UPVC.														
4.	REFER 124121	G	BOILER CUPBOARD	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	2m ²	CHRYSOTILE	1	0	0	1	2	1
Room Construction: Walls- block/brick work, plasterboard; ceiling- concrete; floor- concrete, floor tiles, adhesive, linoleum; door- timber; Valliant Eco Max boiler installed.														
5.	REFER 124121	G	METER CUPBOARD	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	1m ²	CHRYSOTILE	1	0	0	1	2	1
Room Construction: Walls- block/brick work, plasterboard; ceiling- concrete; floor- concrete, floor tiles, adhesive; door- timber; Wylex consumer unit installed.														
6.	REFER 124121	G	LOUNGE	FLOOR (UNDER CARPET)	TILES & ADHESIVE	VINYL & BITUMEN	15m ²	CHRYSOTILE	1	0	0	1	2	1
7.	PRESUMED	G	LOUNGE	FIRE SURROUND	ROPE SEAL	PRESUMED TEXTILE/ROPE	<1m ²	PRESUMED CHRYSOTILE	2	0	1	1	4	1
Room Construction: Walls- block/brick work; ceiling- concrete, textured paint; floor- concrete, floor tiles, adhesive; door- timber; window- UPVC; sill- timber; radiator installed; heating pipe runs- copper.														

Notes:

SAMPLES FROM THE FIRE PLACE AND STORAGE HEATER WERE UNOBTAINABLE AS THE UNITS WERE LIVE.

A SAMPLE FROM THE SOIL & VENT PIPE WAS UNOBTAINABLE AS THE PIPE WAS INACCESSABLE TO SAMPLE.

THE VAILLANT ECOMAX BOILER APPEARS TO HAVE BEEN RECENTLY INSTALLED.

EXTERNAL AREAS ARE EXEMPT AS THE PROPERTY IS A PURPOSE BUILT FLAT – EXTERNAL AREAS WILL BE INCLUDED IN THE ASBESTOS SURVEY OF COMMUNAL AREAS.

Guidance Notes: Red – Asbestos Material Black – No Asbestos Material Green – No Access Area MS – Management Survey RS – Refurbishment Survey DS - Demolition Survey

No – Identification Number FL – Floor Level G – Ground Floor 1,2 etc – Denotes floor level A – Attic Qty – Quantity of material

Mat Type – Material Type Ext Dam – Extent Of Damage Surf Treat – Surface Treatment
Asb Type – Asbestos Type Total – Total Material Risk Assessment Score Acc/Vuln – Accessibility/Vulnerability Score

App A: Page 1 of 2

AIB – Asbestos Insulation Board

SAS 52 Issue 3 21.06.11

Client Ref: 0426005800		Site Location: 58 VERWOOD CLOSE, PARK NORTH, SWINDON, SN3 2LE						Survey Date(s):		31 AUGUST 2011				
SAS Job No: 5619		Surveyor(s): CHRIS O'SULLIVAN & STEVE EASTON						Survey Type:		MS				
Keyed (employee): MICHAELA TUCK/ FLIS HALL				Plan (employee): MICHAELA TUCK				Checked (employee): KATE RUSSELL						
No	Sample Ref/ Visual	FL	Area	Position	Element	Material	Qty	Analysis Result	Mat Type	Ext Dam	Surf Treat	Asb Type	Total	Acc/Vuln
8.	VISUAL	G	AIRING CUPBOARD	NO ASBESTOS DETECTED										
Room Construction: Walls- block/brick work; ceiling- concrete; floor- concrete, floor tiles, adhesive; door- timber; heating pipe runs-copper.														
9.	PRESUMED	G	PASSAGE	BERRY MAGICOAL STORAGE HEATER	LININGS	PRESUMED AIB	<1m ²	PRESUMED CROCIDOLITE	2	0	2	3	7	1
Room Construction: Walls- plasterboard; ceiling- concrete, textured paint; floor- concrete, floor tiles, adhesive, carpet; door- timber; Berry Magical storage heater installed														
10.	REFER 124121	G	BATHROOM	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	4m ²	CHRYSOTILE	1	0	0	1	2	1
11.	STRONGLY PRESUMED	G	BATHROOM	UNDER BATH	SOIL & VENT PIPE	PRESUMED ASBESTOS CEMENT	3m ²	PRESUMED CROCIDOLITE	1	0	1	3	5	1
Room Construction: Walls- block/brick work, ceramic tiles; ceiling- concrete, textured paint; floor-concrete, floor tiles, adhesive, linoleum; door- timber; window- UPVC; sill- ceramic tiles; bath panel- timber; radiator installed; waste water pipes- UPVC; heating pipe runs- copper; timber boxing enclosing the cement soil vent pipe.														
12.	VISUAL	G	BEDROOM 2	NO ASBESTOS DETECTED										
Room Construction: Walls- block/brick work; ceiling- concrete; floor- concrete, floor tiles, adhesive, carpet; door- timber; window- UPVC; sill- timber; radiator installed; heating pipe runs- copper.														
13.	VISUAL	G	BEDROOM 1	NO ASBESTOS DETECTED										
Room Construction: Walls- block/brick work; ceiling- concrete; floor- concrete, floor tiles, adhesive, carpet; door- timber; window- UPVC; sill- timber; radiator installed; heating pipe runs- copper.														
14.	VISIBLE	G	THROUGHOUT	ALL VISIBLE PIPE ROUTES AND RADIATORS	NO ASBESTOS DETECTED									

Notes:

SAMPLES FROM THE FIRE PLACE AND STORAGE HEATER WERE UNOBTAINABLE AS THE UNITS WERE LIVE.

A SAMPLE FROM THE SOIL & VENT PIPE WAS UNOBTAINABLE AS THE PIPE WAS INACCESSABLE TO SAMPLE.

THE VAILLANT ECOMAX BOILER APPEARS TO HAVE BEEN RECENTLY INSTALLED.

EXTERNAL AREAS ARE EXEMPT AS THE PROPERTY IS A PURPOSE BUILT FLAT – EXTERNAL AREAS WILL BE INCLUDED IN THE ASBESTOS SURVEY OF COMMUNAL AREAS.

Guidance Notes: Red – Asbestos Material Black – No Asbestos Material Green – No Access Area MS – Management Survey RS – Refurbishment Survey DS - Demolition Survey

No – Identification Number FL – Floor Level G – Ground Floor 1,2 etc – Denotes floor level A – Attic Qty – Quantity of material

Mat Type – Material Type

Ext Dam – Extent Of Damage

Surf Treat – Surface Treatment

App A: Page 2 of 2

Asb Type – Asbestos Type

Total – Total Material Risk Assessment Score

Acc/Vuln – Accessibility/Vulnerability Score

AIB – Asbestos Insulation Board

SAS 52 Issue 3 21.06.11



Appendix B: Survey Data Sheets



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
5619/1	124121	G	Entrance Hall	Floor Tiles & Adhesive (under linoleum)	2m ²	Chrysotile	3	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	1	0	1	3	1	4

Recommendations:

This material may remain in situ and managed accordingly. No drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
5619/2	124122	G	Kitchen	Ceiling Decorative Coating	6m ²	Chrysotile	4	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	
Encapsulate/Reseal	
Remove	
Repair	X
Investigate Further	

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	2	0	1	4	2	6

Recommendations:

This material requires repair and should be carried out by trained asbestos operatives following current ACOPS and HSE Guidance Notes. Thereafter it may remain in situ and managed accordingly. No drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Kitchen	Floor Tiles & Adhesive (under linoleum)	6m ²	Chrysotile	2	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	0	0	1	2	1	3

Recommendations:

This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. This material is in good condition and may remain in situ and managed accordingly. No drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Boiler Cupboard	Floor Tiles & Adhesive (under linoleum)	2m ²	Chrysotile	2	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	0	0	1	2	1	3

Recommendations:

This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. This material is in good condition and may remain in situ and managed accordingly. No drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Meter Cupboard	Floor Tiles & Adhesive (under linoleum)	1m ²	Chrysotile	2	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	0	0	1	2	1	3

Recommendations:

This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. This material is in good condition and may remain in situ and managed accordingly. No drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Lounge	Floor Tiles & Adhesive (under carpet)	1m ²	Chrysotile	2	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	0	0	1	2	1	3

Recommendations:

This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. This material is in good condition and may remain in situ and managed accordingly. No drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Presumed	Presumed	G	Lounge	Presumed Rope Seal to Fire Surround	<1m ²	Presumed Chrysotile	4	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	X

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
2	0	1	1	4	1	5

Recommendations:

The surveyor presumes this material to contain asbestos. A sample was unobtainable as it may compromise the integrity of the item. This material may remain in situ and managed accordingly however further investigation must take place before any work is carried out in this area. Meantime no drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Presumed	Presumed	G	Passage	Presumed Asbestos Insulation Board Linings to Berry Magicoal Storage Heater	<1m ²	Presumed Crocidolite	7	Y

Recommended Action:	
ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	X

Advised Timescale for Action/Inspection:	
TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	X
Within 12 months	

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
2	0	2	3	7	1	8

Recommendations:

The surveyor presumes this material to contain asbestos. A sample was unobtainable due the unit being live. This material may remain in situ and managed accordingly however further investigation must take place before any work is carried out in this area. Meantime no drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Bathroom	Floor Tiles & Adhesive (under linoleum)	4m ²	Chrysotile	2	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	0	0	1	2	1	3

Recommendations:

This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. This material is in good condition and may remain in situ and managed accordingly. No drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

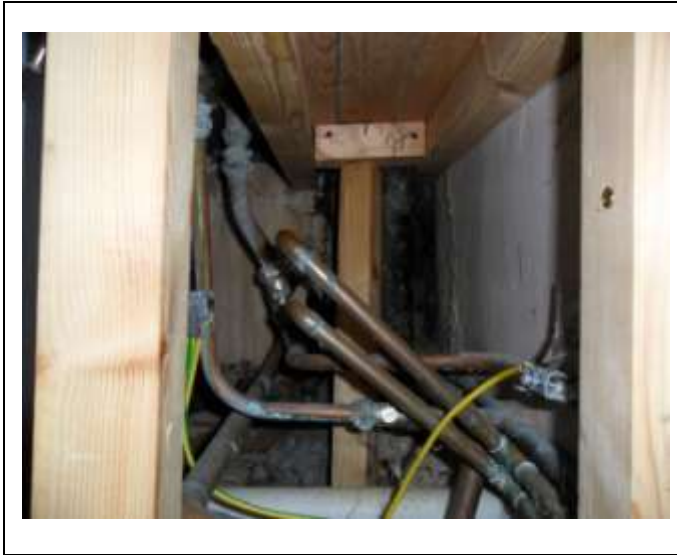
Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Total M.A.S	Notifiable Material Y/N
Strongly Presumed	Strongly Presumed	G	Bathroom (under bath)	Strongly Presumed Asbestos Cement Soil & Vent Pipe	3m	Presumed Crocidolite	5	N

Recommended Action:

ACTION	RECOMMENDATION
Leave & Manage	X
Encapsulate/Reseal	
Remove	
Repair	
Investigate Further	X

Advised Timescale for Action/Inspection:

TIMESCALE	RECOMMENDATION
Immediate	
Within 1 month	
Within 3 months	
Within 6 months	
Within 12 months	X

Product Type	Extent Of Damage	Surface Treatment	Asbestos Type	Total M.A.S	Accessibility/Vulnerability	Combined Total for Advised Timescale
1	0	1	3	5	1	6

Recommendations:

The surveyor presumes this material to contain asbestos. A sample was unobtainable as it was not accessible for sampling. This material may remain in situ and managed accordingly however further investigation must take place before any work is carried out in this area. Meantime no drilling, cutting or any abrasive actions should take place on this material.



**Appendix C:
Bulk Analysis Certificate**



Asbestos Refurbishment Survey Report

58 Verwood Close, Park North, Swindon, SN3 2LE



Undertaken by	
<u>SWINDON ASBESTOS SURVEYING LTD</u>	
Checked by:	Kate Russell
Verified/Signature:	
Date of Survey:	31 August 2011
Date of Report:	7 September 2011
<u>Job No:</u>	<u>SAS5619/10445923</u>
Authorising Surveyor:	Chris O'Sullivan
Verified/Signature:	
<p style="font-size: small;">Swindon Asbestos Surveying Ltd, Aavid Thermalloy House, Cheney Manor Industrial Estate, Swindon, Wilts, SN2 2QN Tel: 01793 401421 Fax: 01793 401424 Email: info@swindon-asbestos.co.uk Website: www.swindon-asbestos.co.uk Company No: 5953002</p>	



<u>Contents – Refurbishment Survey</u>	<u>Pages</u>
Cover Sheet	1
Contents	2
Executive Summary	3
No Access Areas	4
Introduction	5
Survey Information	6 – 7
Recommended Actions	8
Appendix A: Survey Summary Sheets	
Appendix B: Survey Data Sheets	
• Survey Conclusions & Recommendations	
Appendix C: Bulk Analysis Certificate (Prepared by PJI Laboratories Ltd)	
Appendix D: Floor Plan	



Executive Summary

The content of this report relates exclusively to the findings of the Refurbishment Survey undertaken in accordance with HSG 264 'Asbestos: The survey guide' of the bathroom, kitchen, airing cupboard, boiler area and pipe route only at 58 Verwood Close, Park North, Swindon, SN3 2LE.

The purpose of the survey is to locate and describe the presence of asbestos containing materials in areas affected by proposed refurbishment work.

The following asbestos containing materials have been identified, presumed or strongly presumed:
(Presumptions are avoided when possible during refurbishment and demolition surveys as all areas should be made accessible)

Location	FI	Asbestos Containing Material	Recommended Action
Kitchen	G	Ceiling textured coating	Remove if affected by works
Kitchen	G	Floor tiles & adhesive	Remove if affected by works
Boiler Cupboard	G	Floor tiles & adhesive	Remove if affected by works
Meter Cupboard	G	Floor tiles & adhesive	Remove if affected by works
Passage	G	Presumed asbestos insulation board linings to Berry Magicoal storage heater	Further investigation/ Remove if affected by works
Bathroom	G	Floor tiles & adhesive	Remove if affected by works
Bathroom	G	Strongly presumed asbestos cement soil vent pipe under bath	Further investigation/ Remove if affected by works

The recommended action provided has been determined by the scope of the refurbishment works provided by the client and observations made by the surveyor during the survey.



No Access Areas

The following table details all areas not accessed during the survey. Although they may be accessible at other times, for the reasons specified they were not available for inspection during the survey.

Location	FI	Access Restriction
No electrical components were inspected as they were live at the time of the survey.		
No gas appliance components were inspected as they were live at the time of the survey.		

It is imperative that the client assumes that all of these areas contain asbestos and refurbishment works do not proceed until further investigation has been undertaken as a matter of urgency.

No works should be undertaken in the area until the presence of asbestos is confirmed or refuted.

This survey should be read in conjunction with any existing asbestos register or any other asbestos survey undertaken of this property.



Introduction

Swindon Asbestos Surveying Ltd, Aavid Thermalloy House, Cheney Manor Industrial Estate, Swindon, Wilts, SN2 2QN has been instructed by Mr John Regan of Swindon Commercial Services Ltd, Waterside Park, Darby Close, Cheney Manor Industrial Estate, Swindon, Wilts, SN2 2PN to undertake a Refurbishment Survey of the bathroom, kitchen, airing cupboard, boiler area and pipe route only at 58 Verwood Close, Park North, Swindon, SN3 2LE. No additional areas were included in the scope of survey.

The surveyor found that the Vaillant boiler appears to have been recently installed, therefore it is excluded from the scope of survey.

This survey is undertaken on the basis that pre-existing visible pipe routes, radiator, cylinder and tank locations will be utilised during the upgrade, unless otherwise stated.

The survey was undertaken on the 31 August 2011 by C. O'Sullivan.

The property comprises a brick built two bedroom flat which is a domestic dwelling constructed circa 1957.

The client does not require labelling of sample points as the property is a domestic dwelling.

The agreed terms for undertaking refurbishment and demolition surveys states that Swindon Asbestos Surveying Ltd will not be liable for the cost of rectifying any damage sustained to fixtures and fittings (including but not limited to bath panels and boxing etc) during attempts to access within or behind such items as required when undertaking a refurbishment and demolition survey.

The purpose of the survey is to locate and describe the presence of asbestos containing materials in areas affected by proposed refurbishment work in order to produce this report.

There is a specific requirement in The Control of Asbestos Regulations 2006 (regulation 7) that all asbestos containing materials are removed as far as reasonably practicable before major refurbishment or final demolition of a premises. Removing asbestos containing materials is also appropriate in other smaller refurbishment situations which involve changes to a premises' structure or lay out.

The information collated in this survey may also be utilised during the tender process for removal of asbestos containing materials prior to refurbishment or demolition works commencing. It is advisable to provide designers, project managers or contractors who may be tendering for work with a copy of this report under Construction (Design & Management) Regulations 2007.

If an asbestos register exists for this property it is the responsibility of the duty holder and/or appointed person to ensure asbestos remedial and or removal works recommended in this report are actioned and recorded appropriately to enable continued management of asbestos containing materials in the premises.

This report is based on a refurbishment survey and is representative of the situation at the time of inspection

This report shall not be reproduced except in full without the expressed approval of Swindon Asbestos Surveying Ltd and the client.



Survey Information

HSG 264 "Asbestos: The survey guide" states that refurbishment and demolition surveys are required for all work which disturbs the fabric of the building in areas where the management survey has not been intrusive. The decision concerning the need for a refurbishment survey should be made by the duty holder.

A refurbishment and demolition survey is needed before any refurbishment or demolition work is carried out. This type of survey is used to locate and describe, as far as reasonably practicable, all ACMs in the area where the refurbishment work will take place or in the whole building if demolition is planned. The survey will be fully intrusive and involve destructive inspection, as necessary, to gain access to all areas, including those that may be difficult to reach.

Aggressive inspection techniques will be needed to lift carpets and tiles, break through walls, ceilings, cladding and partitions, and open up floors. Refurbishment and demolition surveys should only be conducted in unoccupied areas to minimise risks to the public or employees on the premises. Ideally, the building should not be in service and all furnishings removed. For minor refurbishment, this would only apply to the room involved or even part of the room where the work is small and the room large. Under no circumstances should non-sampling personnel remain in rooms or areas of buildings where intrusive sampling is performed.

A refurbishment and demolition survey may also be required in other circumstances, e.g. when more intrusive maintenance and repair work will be carried out or for plant removal or dismantling.

A refurbishment and demolition survey may be conducted to establish the economic future or viability of an occupied building(s). The survey results may contribute to the outcome. There should be effective isolation of the survey areas and the 'surveyed' area must be shown to be fit for reoccupation. This will require a thorough visual inspection and when required reassurance air monitoring.

The requested building and or areas of the building were thoroughly inspected for materials suspected to contain asbestos and samples were taken by the surveyor where considered necessary, including photographic records. Where one type of material appeared to be extensive, only representative samples were taken. Any sample taken has been analysed by an independent UKAS accredited laboratory.

Where a material is not sampled but is strongly presumed or presumed to contain asbestos it is noted as such, however presumptions are avoided when possible during refurbishment and demolition surveys as all areas should be made accessible and services and plant isolated, enabling comprehensive sampling of suspected asbestos containing materials.

During the course of the survey all reasonable efforts were made to identify the presence of asbestos containing materials within the areas specified in the survey scope. However, asbestos containing materials are sometimes concealed within the fabric of the building or within sealed building voids. Therefore it is not always possible to regard the finding of any survey as definitive. The client should be open to possibilities that further asbestos containing materials may be uncovered during any alteration, refurbishment or demolition work.

The survey does not assess the condition of the asbestos, except to identify areas of damage or debris.

If removal of the asbestos containing materials identified in this report will not be undertaken for some time (approximately 3 months or more) there will be an additional requirement to assess the condition of the asbestos and implement a management plan.



Survey planning and procedure

The client's requirements have been established and the scope of the survey agreed at the initial consultation stage.

Where available, floor plans, previous surveys and pre-existing documentation concerning the structure, construction and details of adaptations have been obtained.

Site specific details have been obtained from the client including safety and security information, permits to work and access arrangements to ensure the survey is completed efficiently, effectively and safely. Where this is not the case and limitations are discovered during the survey they have been recorded appropriately.

A desk top study has been undertaken in order to plan the execution of the survey. Contributing factors including the nature, age and construction of the site have been considered and the survey has been properly resourced.

Any anomalies arising during the survey which impact on the scope of survey have been relayed to the client in a timely manner and resolved as far as practicable. Any further requirements have been identified in the contract review.

The survey was carried out in accordance with our internal Surveying Procedure QP12 and the "HSG 264 Asbestos: The survey guide" guidance for the surveying, sampling and assessment of asbestos containing materials.

Swindon Asbestos Surveying Ltd surveyors operate with independence, impartiality and integrity and are sufficiently trained, experienced and authorised in all aspects of the surveying work being undertaken.

Swindon Asbestos Surveying Ltd is accredited by the United Kingdom Accreditation Service (UKAS) to undertake surveying for asbestos in premises.



Recommended Actions

The recommended action provided has been determined by the scope of the refurbishment works provided by the client and observations made by the surveyor during the survey.

Leave & Manage

The material may be left in situ and warning labels applied at the client's request. Undertake continued regular recorded inspections of the materials' condition as per the asbestos register and management plan.

Encapsulate/Reseal

The material requires encapsulation (e.g. enclose, seal over, or paint with a proprietary encapsulating material), thereafter the material may be left in situ and warning labels applied at the client's request. The asbestos register and management plan must be updated to record the remedial action undertaken. Undertake continued regular recorded inspections on the condition of the material.

Remove

The material requires removal within the legislative requirements of the following:

Health and Safety at Work Act 1974

Management of Health & Safety at work regulations 1999

Control of Asbestos Regulations 2006

Construction (Design & Management) Regulations 2007 where applicable

Current HSE Approved Codes of Practice (ACOPS) including L127 and L143

Hazardous Waste Regulations 2005 (England and Wales)

If there is an existing asbestos register it must be updated to record the removal undertaken.

If the material is identified as notifiable, removal must be undertaken by an approved and licensed asbestos removal contractor holding a current HSE licence. Please ensure that sufficient time is afforded when scheduling refurbishment or demolition works to enable the asbestos removal contractor to implement the 14 day notification period as per documentation ASB5 to the Health and Safety Executive.

If the material is identified as non-notifiable, removal may be undertaken by trained asbestos operatives following the latest ACOPS and HSE Guidance Notes.

All asbestos products and non-asbestos products which have become contaminated by asbestos are classified as hazardous waste under the Hazardous Waste Regulations 2005 (England and Wales) and require disposal at licensed sites. Loose asbestos products (pipe insulation, sprayed insulation, broken boards etc) and any asbestos containing waste weighing more than 500kg, during any 12 month period, require a consignment system to control the transportation of the waste from the location of removal to its final disposal destination

Investigate Further

Where a material is presumed to contain asbestos or areas have not been accessed during the survey, a recommendation for further investigation will be made (e.g. additional access requirements for sampling at height or isolation of live plant etc.). It is imperative that refurbishment and or demolition works are not undertaken in no access areas until further investigation is complete.



Appendix A: Survey Summary Sheets

Client Ref: 0426005800		Site Location: 58 VERWOOD CLOSE, PARK NORTH, SWINDON, SN3 2LE						Survey Date(s):		31 AUGUST 2011				
SAS Job No: 5619		Surveyor(s): CHRIS O'SULLIVAN & STEVE EASTON						Survey Type:		RS				
Keyed (employee): MICHAELA TUCK/ FLIS HALL				Plan (employee): MICHAELA TUCK				Checked (employee): KATE RUSSELL						
No	Sample Ref/ Visual	FL	Area	Position	Element	Material	Qty	Analysis Result	Mat Type	Ext Dam	Surf Treat	Asb Type	Total	Acc/Vuln
1.	124122	G	KITCHEN	CEILING	DECORATIVE COATING	TEXTURED COATING	6m ²	CHRYSOTILE	1	2	0	1	4	2
2.	REFER 124121	G	KITCHEN	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	6m ²	CHRYSOTILE	1	0	0	1	2	1
Room Construction: Walls- block/brick work, ceramic tiles; ceiling- concrete, textured coating; floor- concrete, floor tiles, adhesive, linoleum; door- timber; window- UPVC; sill- ceramic tiles; waste water pipes- UPVC.														
3.	REFER 124121	G	BOILER CUPBOARD	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	2m ²	CHRYSOTILE	1	0	0	1	2	1
Room Construction: Walls- block/brick work, plasterboard; ceiling- concrete; floor- concrete, floor tiles, adhesive, linoleum; door- timber; Valliant Eco Max boiler installed.														
4.	REFER 124121	G	METER CUPBOARD	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	1m ²	CHRYSOTILE	1	0	0	1	2	1
Room Construction: Walls- block/brick work, plasterboard; ceiling- concrete; floor- concrete, floor tiles, adhesive; door- timber; Wylex consumer unit installed.														
5.	VISUAL	G	AIRING CUPBOARD	NO ASBESTOS DETECTED										
Room Construction: Walls- block/brick work; ceiling- concrete; floor- concrete, floor tiles, adhesive; door- timber; heating pipe runs-copper.														
6.	PRESUMED	G	PASSAGE	BERRY MAGICOAL STORAGE HEATER	LININGS	PRESUMED AIB	<1m ²	PRESUMED CROCIDOLITE	2	0	2	3	7	1
Room Construction: Walls- plasterboard; ceiling- concrete, textured paint; floor- concrete, floor tiles, adhesive, carpet; door- timber; Berry Magical storage heater installed														
7.	REFER 124121	G	BATHROOM	FLOOR (UNDER LINOLEUM)	TILES & ADHESIVE	VINYL & BITUMEN	4m ²	CHRYSOTILE	1	0	0	1	2	1

Notes:
 SAMPLES FROM THE STORAGE HEATER WERE UNOBTAINABLE AS THE UNIT WAS LIVE.
 A SAMPLE FROM THE SOIL & VENT PIPE WAS UNOBTAINABLE AS THE PIPE WAS INACCESSABLE TO SAMPLE.
 THE VAILLANT ECOMAX BOILER APPEARS TO HAVE BEEN RECENTLY INSTALLED.

Guidance Notes: **Red – Asbestos Material** Black – No Asbestos Material **Green – No Access Area** MS – Management Survey RS – Refurbishment Survey DS - Demolition Survey

No – Identification Number FL – Floor Level G – Ground Floor 1,2 etc – Denotes floor level A – Attic Qty – Quantity of material

Mat Type – Material Type Ext Dam – Extent Of Damage Surf Treat – Surface Treatment
 Asb Type – Asbestos Type Total – Total Material Risk Assessment Score Acc/Vuln – Accessibility/Vulnerability Score

App A: Page 1 of 2

AIB – Asbestos Insulation Board SAS 52 Issue 3 21.06.11

Client Ref: 0426005800		Site Location: 58 VERWOOD CLOSE, PARK NORTH, SWINDON, SN3 2LE						Survey Date(s):		31 AUGUST 2011				
SAS Job No: 5619		Surveyor(s): CHRIS O'SULLIVAN & STEVE EASTON						Survey Type:		RS				
Keyed (employee): MICHAELA TUCK/ FLIS HALL				Plan (employee): MICHAELA TUCK				Checked (employee): KATE RUSSELL						
No	Sample Ref/ Visual	FL	Area	Position	Element	Material	Qty	Analysis Result	Mat Type	Ext Dam	Surf Treat	Asb Type	Total	Acc/Vuln
8.	STRONGLY PRESUMED	G	BATHROOM	UNDER BATH	SOIL & VENT PIPE	PRESUMED ASBESTOS CEMENT	3m ²	PRESUMED CROCIDOLITE	1	0	1	3	5	1
Room Construction: Walls- block/brick work, ceramic tiles; ceiling- concrete, textured paint; floor-concrete, floor tiles, adhesive, linoleum; door- timber; window- UPVC; sill- ceramic tiles; bath panel- timber; radiator installed; waste water pipes- UPVC; heating pipe runs- copper; timber boxing enclosing the cement soil vent pipe.														
14.	VISIBLE	G	THROUGHOUT	ALL VISIBLE PIPE ROUTES AND RADIATORS	NO ASBESTOS DETECTED									

Notes:
 SAMPLES FROM THE STORAGE HEATER WERE UNOBTAINABLE AS THE UNIT WAS LIVE.
 A SAMPLE FROM THE SOIL & VENT PIPE WAS UNOBTAINABLE AS THE PIPE WAS INACCESSABLE TO SAMPLE.
 THE VAILLANT ECOMAX BOILER APPEARS TO HAVE BEEN RECENTLY INSTALLED.

Guidance Notes: **Red – Asbestos Material** Black – No Asbestos Material **Green – No Access Area** MS – Management Survey RS – Refurbishment Survey DS - Demolition Survey

No – Identification Number FL – Floor Level G – Ground Floor 1,2 etc – Denotes floor level A – Attic Qty – Quantity of material

Mat Type – Material Type Ext Dam – Extent Of Damage Surf Treat – Surface Treatment
 Asb Type – Asbestos Type Total – Total Material Risk Assessment Score Acc/Vuln – Accessibility/Vulnerability Score

App A: Page 2 of 2

AIB – Asbestos Insulation Board SAS 52 Issue 3 21.06.11



Appendix B: Survey Data Sheets



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Material Type	Notifiable Material Y/N
5619/2	124122	G	Kitchen	Ceiling Decorative Coating	6m ²	Chrysotile	Textured Coating	N

Recommendations:

A material assessment has been provided in the Management Survey and the Survey Summary Sheets so that this material may be appropriately managed in the intervening period before refurbishment works commence. If this material is likely to be disturbed during refurbishment to this property it needs to be removed prior to works commencing. This material requires removal by trained asbestos operatives following current ACOPS and HSE Guidance Notes and disposed of as asbestos waste. Meantime no drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Material Type	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Kitchen	Floor Tiles & Adhesive (under linoleum)	6m ²	Chrysotile	Vinyl & Bitumen	N

Recommendations:

A material assessment has been provided in the Management Survey and the Survey Summary Sheets so that this material may be appropriately managed in the intervening period before refurbishment works commence. This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. If this material is likely to be disturbed during refurbishment to this property it needs to be removed prior to works commencing. This material requires removal by trained asbestos operatives following current ACOPS and HSE Guidance Notes and disposed of as asbestos waste. Meantime no drilling, cutting or any abrasive actions should take place on this material.

Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:**SAS5619/10445923**

Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Material Type	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Boiler Cupboard	Floor Tiles & Adhesive (under linoleum)	2m ²	Chrysotile	Vinyl & Bitumen	N

Recommendations:

A material assessment has been provided in the Management Survey and the Survey Summary Sheets so that this material may be appropriately managed in the intervening period before refurbishment works commence. This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. If this material is likely to be disturbed during refurbishment to this property it needs to be removed prior to works commencing. This material requires removal by trained asbestos operatives following current ACOPS and HSE Guidance Notes and disposed of as asbestos waste. Meantime no drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Material Type	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Meter Cupboard	Floor Tiles & Adhesive (under linoleum)	1m ²	Chrysotile	Vinyl & Bitumen	N

Recommendations:

A material assessment has been provided in the Management Survey and the Survey Summary Sheets so that this material may be appropriately managed in the intervening period before refurbishment works commence. This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. If this material is likely to be disturbed during refurbishment to this property it needs to be removed prior to works commencing. This material requires removal by trained asbestos operatives following current ACOPS and HSE Guidance Notes and disposed of as asbestos waste. Meantime no drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Material Type	Notifiable Material Y/N
Presumed	Presumed	G	Passage	Presumed Asbestos Insulation Board Linings to Berry Magicoal Storage Heater	<1m ²	Presumed Crocidolite	Presumed Asbestos Insulation Board	Y

Recommendations:

A material assessment has been provided in the Management Survey and the Survey Summary Sheets so that this material may be appropriately managed in the intervening period before refurbishment works commence. The surveyor presumes this material to contain asbestos. A sample was unobtainable due the unit being live. This material may remain in situ and managed accordingly however further investigation must take place before any work is carried out in this area. If this material is likely to be disturbed during refurbishment to this property it needs to be removed by a Licensed Asbestos Contractor. Meantime no drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Material Type	Notifiable Material Y/N
Refer 5619/1	Refer 124121	G	Bathroom	Floor Tiles & Adhesive (under linoleum)	4m ²	Chrysotile	Vinyl & Bitumen	N

Recommendations:

A material assessment has been provided in the Management Survey and the Survey Summary Sheets so that this material may be appropriately managed in the intervening period before refurbishment works commence. This material is considered to be the same as the floor tiles & adhesive in the Entrance Hall. If this material is likely to be disturbed during refurbishment to this property it needs to be removed prior to works commencing. This material requires removal by trained asbestos operatives following current ACOPS and HSE Guidance Notes and disposed of as asbestos waste. Meantime no drilling, cutting or any abrasive actions should take place on this material.



Survey Data Sheet:

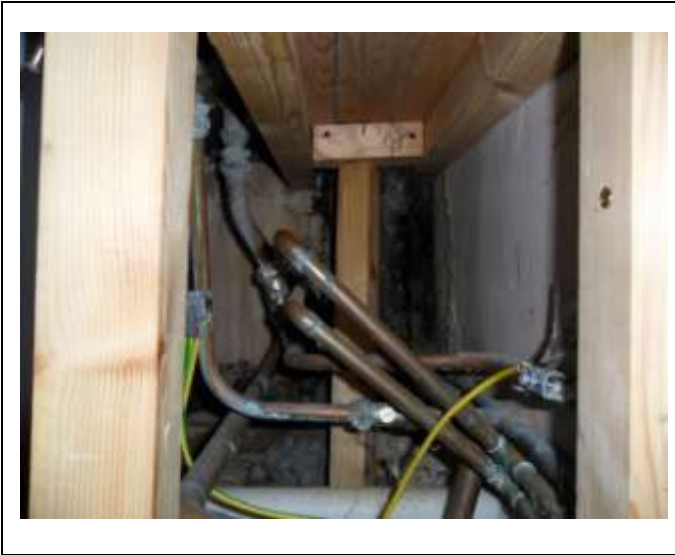
Conclusions & Recommendations

Site Location:

58 Verwood Close, Park North, Swindon, SN3 2LE

Unique Job Number:

SAS5619/10445923



Sample Ref	Laboratory Sample Ref	Fl	Location	Description	Qty	Analysis Result	Material Type	Notifiable Material Y/N
Strongly Presumed	Strongly Presumed	G	Bathroom	Presumed Asbestos Cement Soil Vent Pipe (under bath)	3m	Presumed Crocidolite	Presumed Asbestos Cement	N

Recommendations:

A material assessment has been provided in the Management Survey and the Survey Summary Sheets so that this material may be appropriately managed in the intervening period before refurbishment works commence. The surveyor presumes this material to contain asbestos. A sample was unobtainable as the pipe was not accessible for sampling. This material may remain in situ and managed accordingly however further investigation must take place before any work is carried out in this area. Meantime no drilling, cutting or any abrasive actions should take place on this material.



**Appendix C:
Bulk Analysis Certificate**



Appendix D: Floor Plans

58 Verwood Close, Park North, Swindon, SN3 2LE

Ground Floor

