

13 Hyde Close, Sway

SCHEDULE V2.0 TENDER COPY

House Fire Remedial Works

Construction Phase Information and Schedule of Works.

Housing Maintenance Asset Team

March 2025

Author

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Planned Maintenance Surveyor, NFDC

Version History


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1.0 Introduction & Project Information

1.1 Property Details

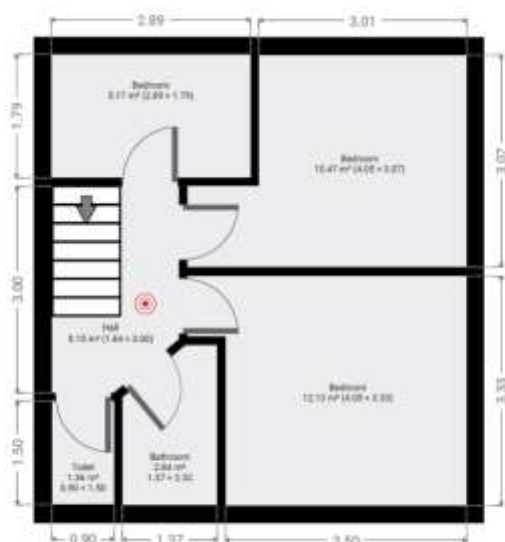
Address	13 Hyde Close, Sway, SO41 6AJ
Location Map	 <p>© Crown copyright and database rights 2024 OS AC0000021000 © Copyright GeoMapping PLC and its wholly owned subsidiaries 2024 © Copyright Ordnance Survey Ltd 2013</p>
Description	<p>Traditional brick built three bed semi-detached House located in Sway, NW of Lymington, Hampshire.</p> <p>Ground Floor Layout:</p> <p>kitchen/reception room/dining room with a separate living room.</p> <p>First Floor Layout:</p> <p>Three bedrooms and a bathroom with separate WC.</p>

First Floor Plan

(Keystone, 2024)

Note: Full size plan available in Appendix A with notations of layout differences.

▼ 1st Floor TOTAL AREA: 37.06 m² - LIVING AREA: 37.06 m² - ROOMS: 3

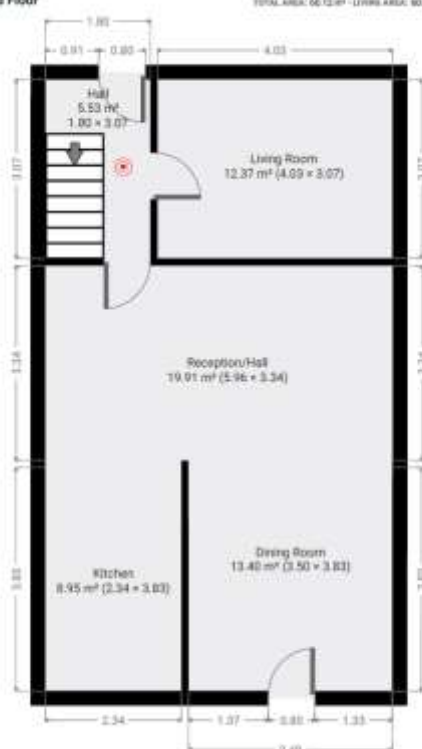


Ground Floor Plan

(Keystone, 2024)

Note: Full size plan available in Appendix A with notations of layout differences.

▼ Ground Floor TOTAL AREA: 66.12 m² - LIVING AREA: 66.12 m² - ROOMS: 3



Southern Elevation

(B.Curd, Aug
2024)



Northern Elevation

(B.Curd, Aug
2024)



**Eastern
Elevation**

View from
southern
elevation

(B.Curd, Aug
2024)



**Eastern
Elevation**

View from
northern
elevation

(B.Curd, Aug
2024)



1.2 Timeline of events (emergency response)

Note: timeline is abridged, edited timeline to provide baseline for reinstatement.

14/8/24 –House Fire

1.3 Stakeholders Contact Information

Stakeholder Designation	Role/Name	Contact Details	Note/Keyword
Tenant	Details available on request		
NFDC	Ben Curd (Planned Maintenance Surveyor)	Ben.curd@nfdc.gov.uk 02380 285536	Contract Administrator, NFDC reinstatement
NFDC	Sharon Wicks (Housing Estates Manager)	Sharon.wicks@nfdc.gov.uk 02380 285222	Resident liaison, re; temporary accommodation
NFDC	Vicky Bray (Housing Estates Manager)	Vicky.bray@nfdc.gov.uk 02380 285107	Resident liaison, re; temporary accommodation
NFDC	Ben Close (Gas & Electrical Manager)	Ben.Close@nfdc.gov.uk 02380 285181	Gas/Electrical

NFDC	Planned Maintenance Surveyors. (See Left)	Perri Seymour – Doors Fiona Lyne – Windows Ben Curd – Kitchens Dean Smith – Roofing Andrew Boldry - Bathrooms	Framework administrators for reinstatement works Doors, Windows, Kitchens, Roofing, Bathroom
OnPoint	Gary Purdy (Director)	gary@onpointbcl.com 07753 688577 QU-1113 – Quote Reference	Kitchen Framework Contractor
Cade Roofing	Tom Inglis	tom.inglis@cade-group.co.uk 02392 668 701	Roofing Framework Contractor
Paramount Windows and Fascia Ltd	David Scriven	01202 888825	Windows & Doors Framework Contractor

1.4 Project Codes

Cost Center	RK111
Project Code	P629

2.0 Reinstatement Works

2.1 Works to date (January 2025)

- The occupants have been rehoused.
- Property has been made secure and temporary boarding/roof repairs have been undertaken.
- The property has undergone a **Management and Refurbishment Asbestos Survey**.
- Streetscene have cleared the property of debris and any tenants possessions that had been agreed to be disposed of by NFDC.
- OnPoint Ltd have installed a **shipping container to store tenant possessions** within the front garden, **temporary supports and lighting within the property have been installed and the locks have been replaced**.
- **NFDC have turned off the electrical/gas/water supply to the property** with the exception of 4no. double electrical sockets only located by the front door.

2.2 Works Schedule

2.2.1 SITE ADDRESS

13 Hyde Close, Sway, SO41 6AJ

2.2.2 SCOPE OF WORKS

The proposed work involves the internal refurbishment and partial re-construction of the external roof of the property following damage caused by the fire, including, the complete renewal of the bathroom, kitchen, repairs to masonry and plasterboard walls, partial reinstatement of ceilings, repairs to the electrical installation, together with comprehensive redecoration throughout.

2.2.3 SITE VISIT

The Contractor shall allow to visit the site to ascertain the nature and full extent of the works required prior to submitting their quotation. The quote will be understood to include for all items necessary to complete the works in a proper and workmanlike manner. No claims for additions will be considered on account of lack of knowledge due to failure to comply with this clause.

2.2.4 SECURITY

The Contractor shall allow to adequately safeguard the site, the Works, products, materials, plant and existing buildings affected by the Works from damage and theft and take all reasonable precautions to prevent unauthorised access to the site, the Works and adjoining properties.

2.2.5 WORKING/SITE DIMENSIONS

All site dimensions and measurements where noted in the specification and drawings are approximate only. The Contractor shall carry out a detailed survey as necessary and be responsible for all site dimensions and measurements.

2.2.6 PROGRAMME OF WORKS

The Contractor shall provide with their quotation a proposed programme of works indicating required lead in period and showing the works at various stages over the time period of the works.

2.2.7 SITE ACCESS ARANGMENTS FOR CARRYING OUT THE WORKS

The Contractor shall be permitted access in accordance with the contract conditions to all such areas of the buildings and grounds that are required for the execution of the Works. Care shall be taken to cause as little disturbance and nuisance as possible to the neighbouring properties during the progress of the work.

Important note:

Please contact either of the following, to make arrangements to visit the site:-

Ben Curd – ben.curd@nfdc.gov.uk, 07823 355698

2.2.8 PROTECTION OF THE WORKS

The Contractor shall allow for providing all necessary protection to the building and adjoining buildings while the works are in progress and shall make good at his own expense any damage to the existing structure or finishes however caused.

2.2.9 STATUTORY LEGISTALION AND REGULATIONS

The works must comply with all current Codes of Practice, Local Bye-laws, Building Regulations, Installation Procedures, Agreement Certificates, relevant Regulatory Trade Bodies and manufacturer's written instructions.

2.2.10 HEALTH AND SAFETY AT WORK ACT 1974

The Contractor shall during the whole course of the contract provide and maintain all necessary safety, health and welfare measures and amenities and comply with all the provisions laid down in the above Act and all Statutory Building and Construction Regulations currently in force and which are applicable to the works. The Contractor may be required to produce a copy of his Health and Safety Policy for inspection by the District Council.

2.2.11 WORKING AT HEIGHT REGULATIONS 2005

The contractor shall during the while course of the contract reflect their consideration of the above regulations and any necessary equipment needed to carry out the contract to HSE guidance and recommendations. The regulations will also be risk assessed in the Principal Contractors Health and Safety Plan for any work that falls into this category.

2.2.12 ASBESTOS REGULATIONS

The attention of the Contractor is particularly drawn to the above Regulations and it shall be the sole responsibility of the Contractor to ensure strict compliance therewith. Notwithstanding the above mentioned regulations, the Contractor shall note all asbestos and report its presence to the Contract Administrator.

Important note: Appendix 1

A Management & Refurbishment Asbestos Survey has been carried out for the property, in accordance with the Control of Asbestos Regulations 2012 and New Forest District Council's Surveying & Technical team can confirm that there is a very low risk asbestos containing materials within the property during the survey, one key note however is the presence of a Chrysotile cement board underneath the stairs.

This does not guarantee that asbestos will not be uncovered during demolition work or affect the Contractor's duty to report any suspected Asbestos Containing Materials he may uncover.

2.2.13 PROTECTION AGAINST NOISE AND NUISANCE

The Contractor shall take precautions to prevent nuisance from smoke, dust, rubbish and other causes and fit silencers as recommended by manufacturers to all relevant equipment. The playing of radios, cassette players, etc, will not be permitted on site. This is to apply to all the Contractor's servants, agents, employees, and sub- contractors. In association with the above, the Contractor's attention is drawn to Sections 60 and 61 of the Control of Pollution Act 1974. (BS 5228 Noise Control on Building Sites).

2.2.14 SERVICE SUPPLY

The Contractor shall make all necessary arrangements for the supply of water and electricity for the works, and shall pay all charges and issue all notices to Statutory Undertakers in respect thereof

2.2.15 SEQUENCE OF WORKS AND WORKING HOURS

The Contractor shall not work outside normal working hours (0830 - 1700 hours) without the written permission of the Contract Administrator. No work is to be carried out on Saturdays, Sundays or Bank Holidays without the written permission of the Contract Administrator.

2.2.16 CLEARANCE OF SITE/REMOVAL OF DEBRIS

All rubbish, debris or other materials shall be removed from the site as necessary during the course of the contract and at the expense of the Contractor to a suitable tip. The Contractor shall be responsible for the making good of all fences, paths, sheds and other features damaged during the course of the works.

The Contractor shall remove from site all rubbish and superfluous material as it accumulates and consistently maintain the whole area of the works in a clean and tidy condition.

No rubbish is to be left in the gardens overnight. All debris is to be transported to the Contractor's compound at the end of each day. In respect of the above the Contractor's attention is drawn to the Environmental Protection Act 1990 and in particular the disposal of asbestos in accordance with Asbestos Waste Regulations 1996. In connection with the duties laid down in this Act the Contractor shall provide to the Contract Administrator copies of all transfer notes.

Upon completion the Contractor shall clean all surfaces internally and externally, glass and finishes affected by the works and leave the property in a clean and tidy condition for occupation.

2.2.17 EVALUATION OF TENDERS

The tender documents will be assessed on a 100% price basis.

The Local Authority does not bind itself to accept the lowest or any tender.

2.2.18 PERIOD OF VALIDITY

Tenders must remain open for acceptance for three months from the date fixed for the submission of tenders

2.2.19 CONTRACT TERMS

The Authority proposes to enter into a **JCT Minor Building Works Contract** with the successful Tenderer. The completion date for the contract to be agreed upon the successful appointment of the contractor and will aim to start on ASAP.

2.2.20 INSURANCE

The contractor shall be required to have a standard level of insurance of minimum £10,000,000 for both employer's liability and public liability insurance

2.2.21 FORMALITES

Quotation documents to be submitted by **16:00 on Friday 27th June 2025.**

2.2.22 GENERAL

We the undersigned have read and understood the clauses within Section 1: Preambles and Preliminaries, and shall agree to undertake the contract in accordance with these terms.

Name:

Position:

Company:

Signed: Date:.....

2.3 Workmanship and Materials

All materials and workmanship are to be the best of their respective kinds and to be to the complete satisfaction of the Contract Administrator. The works are to be carried out by competent tradesmen. The terms BS shall mean the British Standards Institute current at the time of tendering. The term CP shall mean the Code of Practice in use at the time of tendering. The Contractor's attention is drawn to the fact that standards laid down by British Standard Specifications and Code of Practice and BSEN ISO 9000 are the minimum standards acceptable.

Where proprietary materials and components are used they shall unless otherwise stated, be fixed, incorporated or applied strictly in accordance with published agreement and manufacturer's instructions.

If required to do so, the Contractor will provide samples of materials to be used in the works for the Contract Administrator, by whom such samples will be retained. All materials and workmanship incorporated in the work shall conform to the approved samples in all respects.

Works to be undertaken with reference to Materials and Workmanship within the Appendices, or where directed within this specification.

2.4 Works Schedule

Item	Image Ref.	Fire Damage	Description	Quantity	Contract Sum Exc. VAT
1.0			Prelims/general works		
1.1		Y	Provision of welfare facilities for duration of works to include Portaloo.		
1.2		Y	Scaffolding – CADE Roofing NFDC appointed framework contractor. To facilitate works within section 3.5 only.		Management Only. Item 1.7
1.3		Y	Provision for waste disposal of all waste generated as part of the works detailed in this schedule.		
1.4	0027	Y	Structural Engineer assessment/report of fire damage to roof rafters.		NFDC
1.5		Y	Supply of temporary electrical supply to property to enable reinstate works.		NFDC
1.6		Y	Building Control Fees, application, required attendances, plans & evidences to be undertaken and provided by contractor.		

1.7		Y	Project management/site supervision as named Principal Contractor under 2015 CDM Regulations. Including liaison and management of NFDC appointed framework subcontractors for specified works detailed later within schedule. To include creation of CPP and collation of H&S file.		
			Total Prelims		
2.0			Removals/Demolitions	Quantity	Contract sum
			Note: Electrical & Plumbing works in specific schedules. Property clear of tenants items pictured in Appendix B as of December 2024, however contractors to attend site to determine current condition prior to quotation.		
2.1			General		
2.1.1		Y	Allow to clear debris and all loose masonry, timbers, fixtures and fittings from the property as instructed within this schedule. All smoke damaged material must be removed as far as practically possible and treated with the following materials and methods prior to carrying out repairs.		

			<p>ENCAPUSLANTS: Remove as much of the sooting and charring as far as practically possible, sponge down and wire brush surfaces removing flaking debris and then utilise a suitable encapsulant not a sealer to manage any remaining exposed and underlying materials or contaminants that remain on surfaces. Examples: Exposed Concrete lintels, charred brickwork faces and roof/floor timbers</p> <p>SEALERS: A water based breathable sealer coat to be applied after all contaminants have been completely removed and surfaces thoroughly cleaned to prevent the reoccurrence of damage such as stains or odours.</p> <p>Examples: Remaining cleaned plaster surfaces and decorated surfaces as required.</p> <p>Contractor to notify the contract administrator of the selected products of choice prior to application.</p>		
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			After removals and demolition inform the CA of any joists/rafters that are not scheduled for replacement/reinforcement but are none-the-less damaged with a view for assessment		
2.1.2		Y	Installation of temporary supports as required to allow for removal and then disposal of damaged ceiling/floor joists or other repairs as required.		
2.2			Entrance Hall/Stairway		
2.2.1	0019, 0020, 0021	Y	Remove and dispose; Wallpaper Coving/skirting and architrave Damaged/damp/delaminated plaster/plasterboard from walls and ceilings		
2.2.2	0020	Y	Remove and dispose of damaged boxing to l/h side of radiator by front door.		
2.2.3	0020	N	Remove and dispose of front door including frame		Included in item 3.7.1
2.2.4	0019	Y	Remove and dispose of internal door leading to kitchen lobby including frame.		
2.3			Living Room		

2.3.1	0002-0004	Y	Remove and dispose; Wallpaper Coving/skirting and architrave Damaged/damp/delaminated plaster/plasterboard from walls and ceilings (full strip) Remove damaged window cill.		
2.4			Dining Room		
2.4.1	0012-0014, 0040	Y	Remove and dispose; Wallpaper Coving/skirting and architrave Loose/damp/delaminated plaster/plasterboard from walls and ceilings		
2.4.2		Y	Remove and dispose of chipboard subfloor throughout		
2.4.3	0008	Y	Remove and dispose of internal door leading to kitchen lobby including frame.		
2.5			Kitchen Lobby		
			Note: Kitchen Refurbishment Itemised separately see item 3.3 See plan in appendix A for lobby location		
2.5.1	0007, 0008, 0042	Y	Remove and dispose; Skirting and architrave		

			Loose/damp/delaminated plaster/plasterboard from walls and ceilings		
2.5.2	0009	N	Allow to remove and dispose of door including frame leading to lean-too.		Included in item 3.7.2
2.5.3	0008	Y	Dispose of shelving units.		
2.6			1st Floor Hallway		
			Note: Windows in Window schedule		
2.6.1	0021, 0030	Y	Remove and dispose; Wallpaper Coving/skirting and architrave Loose/damp/delaminated plaster/plasterboard from walls and ceilings	3.6m2	
2.6.2	0021, 0030	Y	Allow to remove and dispose of timber handrail inclusive of posts and baseplate.		
2.6.3		Y	Remove and dispose of damaged loft hatch	1no.	
2.7			Bedroom 1		
2.7.1	0029	Y	Remove and dispose; Wallpaper Coving/skirting and architrave		

			Loose/damp/delaminated plaster/plasterboard from walls and ceilings		
2.7.2		Y	Remove and dispose of door and frame		
2.7.3	0029	Y	Allow to remove and dispose of all fire damaged timberwork including floorboards.		
2.8			Bedroom 2		
2.8.1	0031, 0032, 0033	Y	Remove and dispose; Wallpaper Coving/skirting and architrave Loose/damp/delaminated plaster/plasterboard from walls and ceilings		
2.8.2		Y	Remove and dispose of vent cover by window.	1no.	
2.8.3		Y	Remove and dispose of door and frame	1no.	
2.9			Bedroom 3		
2.9.1	0034, 0035, 0036	Y	Remove and dispose; Wallpaper Coving/skirting and architrave Loose/damp/delaminated plaster/plasterboard from walls and ceilings		

2.9.2	0034, 0035, 0036	Y	Remove and dispose of timber boxing forming storage cupboard.		
2.9			Bathroom		
			Note: Bathroom schedule to be priced up as complete works. See Item 3.4		
2.10			Loft (Internal)		
2.10.1	0027, 0028	Y	Remove and dispose of fire/smoke damaged insulation throughout.		
2.11			Roofing Works		
			Note: Roofing schedule priced up as complete works. See Item 3.5		
			Total Removals/Demolition		
3.0			Trade Schedules		
3.1			Electrical Schedule		
3.1.1		Y	Whole house <ul style="list-style-type: none"> Rewire upstairs lighting with 1.5 mm twin and earth, Ashley pendants, crabtree switches Rewire ring main 2.5 mm twin and earth, crabtree sockets 		

			<p>Entrance hall/stairwell</p> <ul style="list-style-type: none">• Replace smoke alarm with aico Ei3016 alarm• Replace switch and pendant after water damage <p>Livingroom</p> <ul style="list-style-type: none">• Allow to replace sockets and switches after water damage throughout using crabtree or approved similar.• Replace pendant with Ashley pendant <p>Dining room</p> <ul style="list-style-type: none">• Check pendant in dining area for correct connection (some cable pushed into ceiling not in ceiling rose), replace pendants with Ashley pendants• Remove high level TV socket (Tenant alteration)• Allow to replace sockets and switches after water damage throughout using crabtree or approved similar.		
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			<p>Kitchen – Internal electrics excluding boiler supply form part of kitchen schedule.</p> <p>Kitchen Lobby</p> <ul style="list-style-type: none">• Remove tenants wiring to out house (installed without permission)• Allow to replace sockets after water damage throughout using Crabtree or approved similar.• Replace switch and pendant. <p>1st Floor Stairwell</p> <ul style="list-style-type: none">• Replace landing pendant with Ashley pendant• Replace smoke alarm with aico Ei3016 alarm <p>Bedroom 1</p> <ul style="list-style-type: none">• Rewire sockets using crabtree sockets• Rewire lighting using Ashley pendants and crabtree switches		
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			<ul style="list-style-type: none"> Rewire immersion supply using crabtree 20a dp switch located in airing cupboard <p>Bedroom 2</p> <ul style="list-style-type: none"> Rewire sockets using crabtree sockets Rewire lighting using Ashley pendants and crabtree switches <p>Bedroom 3</p> <ul style="list-style-type: none"> Rewire sockets using crabtree sockets Rewire lighting using Ashley pendants and crabtree switches <p>Bathroom – Internal electrics to be included in bathroom schedule. Make allowance to run new 10mm supply from consumer unit to electric shower.</p>		
3.2			Plumbing/Heating Schedule		
3.2.1	0028, 0029	Y	<p>Loft</p> <ul style="list-style-type: none"> Remove both fire damaged tanks in loft and support structures for tanks Install new supports for both tanks 		

			<ul style="list-style-type: none"> • Install 50 gallon (227 litre) Cold water storage tank to supply cylinder and other sanitary wares that are tank feed • Install 18 litre feed and expansion tank to feed heating system • Both mains feed tanks to have isolations on to isolate cold water feeds • Both tanks to have overflow pipes that meet water regulations • Pipework in loft to be lagged with 25mm Polyethelene insulation. <p>Bedroom 1</p> <ul style="list-style-type: none"> • Remove all fire damaged pipework • Install 900 x 400 (36 x 16) indirect vented stainless Cylinder • Connect Cold water feed from CWST tank in loft with Lever isolation valve • Connect to existing flow and return pipes under bedroom floor from boiler • Re pipe flow and return to heating and hot water heating circuit 		
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			<ul style="list-style-type: none"> • Install Grundfos UPS3 pump and pump valves • Install Drayton Biflo PBBE66S pack • Install Drayton automatic by pass valve • Install Adey Magnaclean Professional 2 pack • Connect heating system to expansion and feed tank with Lever isolation valve on feed • All electrical wiring for heating system and 5 core supply to boiler to be replaced • Replace existing radiator with new 600 x 800 K1 radiator with TRV and Lockshield • Pipework to radiator to be taken back to main flow and return distribution pipework beneath floor. <p>Bedroom 2</p> <ul style="list-style-type: none"> • Remove existing radiator • Replace with 600 x 800 K1 radiator with TRV and Lockshield 		
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			<ul style="list-style-type: none"> Pipework to radiator to be taken back to main flow and return distribution pipework beneath floor <p>Bedroom 3</p> <ul style="list-style-type: none"> Remove existing radiator Replace with 600 x 600 K1 radiator with TRV and lockshield Pipework to radiator to be taken back to main flow and return distribution pipework beneath floor <p>Kitchen</p> <ul style="list-style-type: none"> Repair leaking pipe on heating flow 		
3.2.2		N	<p>Kitchen</p> <ul style="list-style-type: none"> Remove push fit fitting and replace with soldered fittings Secure with pipe clips heating flow and return 22mm pipework at ceiling level <p>Secure with pipe clips cold and hot water pipes at ceiling level.</p>		

3.2.3		N	<ul style="list-style-type: none"> Allow to replace radiators in Livingroom and dining room with lockshield and TRVs. Contractor responsible that size and output correct for space heating demand. 		
3.2.4		N	Allow to remove radiators and reinstall in hallway and kitchen lobby to enable plastering works.		
3.3			Kitchen Refurbishment		
3.3.1		N	<p>OnPoint Building Contractors Ltd. – NFDC Framework Contractor.</p> <p>Removal and disposal of existing kitchen units. Kitchen rewire, new flooring, tiling, plastering and redecoration. (Redecoration and flooring in kitchen Lobby Excluded)</p> <p>Installation of new kitchen as per Howdens Design Cad Plan No : 25020742466 and OnPoint Quote QU-1113 dated 12th February 2025.</p> <p>Additional information on specification available on request.</p>	1no.	Management Only. Item 1.7
3.4			Bathroom Refurbishment		
3.4.1	0024, 0025, 0026	Y	Works specifications as per the NFDC Appendix B2 'Bathroom Refurbishments Specification'	1no.	

			<p>Remove and dispose of - shower chair, rails, tiles, toilet, basin, floor covering, shower former, electrical items and ceiling</p> <p>Plasterworks to walls and ceiling to include new boards to ceiling and coving</p> <p>Supply and install 200mm x 200mm white tiles fixed with waterproof adhesive and grout</p> <p>Supply and install 1400 x 900 level access tray former with gravity waste</p> <p>Supply and install Mira Advance Flex</p> <p>Supply and install 450mm basin and pedestal including lever taps</p> <p>Supply and install close couple wc and toilet seat</p> <p>Supply and install floor covering - like for like blue colour</p> <p>Supply and install shower chair</p> <p>Supply and install 600mm grab rail</p> <p>Supply and install L rail with curtains</p> <p>Supply and install 500 x 600 radiator</p> <p>Supply and install new sealed light</p> <p>Supply and install new pull cord and light switch</p>		
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			Supply and install boxing to cover pipework Supply and install window board		
3.5			Roofing Schedule		
3.5.1		Y	<p>Scaffold access for the below to be listed separately as part of prelims listed in section 1.0.</p> <p>Specification for roofing works available on request.</p> <p>Allow to strip tiles (retain to reinstall later), underlay and baton from fire damaged section of rear elevation (North Facing) elevation above Bedroom 1. Allow for minimum of 10m², note contractor to undertake site survey to ascertain exact quantity.</p> <p>As per recommendations of the REA structural assessment dated 29th January 2025. Allow to clean smoke damaged timbers and then reinforce damaged roof rafter R3 as per the specification within the report.</p> <p>Allow to install new underlay and batons and reinstate roof as per specification.</p> <p>Allow to replace fire damaged soffit and fascia around perimeter of property and replacing with matching goods as best can.</p>		Management only. Item 1.7

			<p>Allow to remove and then supply fire damaged PVC guttering around perimeter of property, include, clips, outlets and downpipes. Flat roof guttering listed below.</p> <p>As per CADE Roofing (NFDC Framework Contractor) quote dated 19/2/25</p>		
3.5.2		N	<p>Cade Roofing.</p> <p>Remove and replace guttering from flat roof and replace in White PVC including all required clips, outlets and downpipes. As Per CADE Roofing (NFDC Framework Contractor) quote dated 18/2/25</p>	8LM	Management only. Item 1.7
3.6			Structural Works Schedule		
3.6.1		Y	<p>Note: Roof rafter works included in the roofing schedule.</p> <p>As per recommendations of the REA structural assessment dated 29th January 2025. Allow to clean smoke damaged timbers and then reinforce damaged timber joists J1,J2,J3,J5,J5 as per the specifications within the report.</p>		

			Allow to check timber floor joists underneath Bedroom 1. If required support joists as per recommendations in REA report, however REA recommend that supports overlap further so that there are a minimum of 2 bolts within the area of overlap at each end. For purposes of the quotation allow to reinforce 1no. floor joists.		
3.7			Door/Window Schedule		
3.7.1		N	Front Door Composite – White Moorgreen Paramount Window and Fascia Ltd. Supply and Install	1no.	Management only. Item 1.7
3.7.2		N	Side Door Composite – White Lathkill - Paramount Window and Fascia Ltd. Supply and Install	1no.	Management only. Item 1.7
3.7.3		Y	Windows Paramount Window and Fascia Ltd. Supply and Install. 1st Floor Front Bed Left 1st Floor Front Bed Right 1st Floor Bathroom 1st Floor Rear Bedroom Right 1st Floor Toilet 1st Floor Landing 1 1st Floor Landing 2	7no.	Management only. Item 1.7

3.7.4		Y	<p>Allow to supply and install replacement internal timber doors and frames throughout. Complete with timber architraves.</p> <p>Door Specification as follows; 35mm internal flush plywood paint grade solid core doors with 19mm Round Bar Latch Door Handles SAA with mortice latch and keep and hang on a pair and a half of 75mm mild steel butt hinges.</p>		
			Total Trade Schedules		
4.0			Reinstatement and Redecorations		
			<p>Note: Paint specification listed in appendix D1.</p> <p>Walls and ceilings to receive primer and three coats of emulsion.</p>		
4.1			Entrance Hall/Stairway		
4.1.1		Y	<p>Install plasterboard boxing around service run by front door ready for plastering. Install access panel over stopcock to allow for future access.</p> <p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p>		

			<p>Install new softwood skirting and architrave, install new coving.</p> <p>Redecorate throughout.</p>		
4.2			Livingroom		
4.2.1		Y	<p>Board ceiling complete with 9.5mm Gyproc (or equivalent)</p> <p>Plasterboard, tape up and fill in readiness plaster finish. Boards to be fixed and taped breaking joint with 25mm Gyproc (or equivalent) drywall screws at rate in accordance with the manufacturer's instructions.</p> <p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p> <p>Install new coving and softwood skirting. Supply and install new timber window board.</p> <p>Redecorate throughout.</p>		
4.3			Dining Room		

4.3.1		Y	<p>Board ceiling complete with 9.5mm Gyproc (or equivalent)</p> <p>Plasterboard, tape up and fill in readiness plaster finish. Boards to be fixed and taped breaking joint with 25mm Gyproc (or equivalent) drywall screws at rate in accordance with the manufacturer's instructions.</p> <p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p> <p>Install new coving and softwood skirting.</p> <p>Supply and install 18mm new moisture resistant T&G chipboard flooring throughout to take new carpet.</p> <p>Redecorate throughout.</p>		
4.4			Kitchen Lobby		

4.4.1		Y	<p>Board ceiling complete with 9.5mm Gyproc (or equivalent)</p> <p>Plasterboard, tape up and fill in readiness plaster finish. Boards to be fixed and taped breaking joint with 25mm Gyproc (or equivalent) drywall screws at rate in accordance with the manufacturer's instructions.</p> <p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p> <p>Install new coving and softwood skirting.</p> <p>Redecorate throughout.</p>		
4.5			1st Floor Hallway		
4.5.1		Y	<p>Board ceiling complete with 9.5mm Gyproc (or equivalent)</p> <p>Plasterboard, tape up and fill in readiness plaster finish. Boards to be fixed and taped breaking joint with 25mm Gyproc (or equivalent) drywall screws at rate in accordance with the manufacturer's instructions.</p>		

			<p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p> <p>Install new coving and softwood skirting.</p> <p>Supply and install new timber Bannister/railing complete with baseplate to match existing staircase as best can.</p> <p>Allow to rubdown and redecorate staircase with gloss as per redecoration specification in Appendix D1.</p> <p>Allow to supply and install an insulated loft hatch 563x726mm or similar approved.</p> <p>Redecorate throughout.</p>		
4.6			Bedroom 1		
4.6.1		Y	<p>Allow to make repairs to window reveal in preparedness to accept new window.</p> <p>Allow to replace roof plate if required and make good head of window.</p> <p>Supply and install softwood t&G replacement floorboards at a depth to match existing.</p>		

			<p>Clean and remove charred materials and wash walls/floors as per general instructions.</p> <p>Board ceiling complete with 9.5mm Gyproc (or equivalent)</p> <p>Plasterboard, tape up and fill in readiness plaster finish. Boards to be fixed and taped breaking joint with 25mm Gyproc (or equivalent) drywall screws at rate in accordance with the manufacturer's instructions.</p> <p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p> <p>Install new coving and softwood skirting, supply and install new timber window board.</p> <p>Redecorate throughout.</p>		
4.7			Bedroom 2		
4.7.1		Y	<p>Board ceiling complete with 9.5mm Gyproc (or equivalent)</p> <p>Plasterboard, tape up and fill in readiness plaster finish. Boards to be fixed and taped breaking joint with 25mm Gyproc (or equivalent) drywall screws at rate in accordance with the manufacturer's instructions.</p>		

			<p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p> <p>Install new coving and softwood skirting.</p> <p>Install new PVC vent cover.</p> <p>Redecorate throughout.</p>		
4.8			Bedroom 3		
4.8.1		Y	<p>Board ceiling complete with 9.5mm Gyproc (or equivalent) Plasterboard, tape up and fill in readiness plaster finish. Boards to be fixed and taped breaking joint with 25mm Gyproc (or equivalent) drywall screws at rate in accordance with the manufacturer's instructions.</p> <p>Prepare walls for plaster and then plaster reveals, ceilings and walls throughout with a minimum of 5mm skim finishing plaster top coat with British Gypsum Thistle Multi Finish Plaster.</p> <p>Install new coving and softwood skirting.</p>		

			Form new storage cupboard in location of previously removed. Allow for as near like for like replacement including timber door complete with ironmongery and internal clothes rail. Redecorate throughout.		
4.9			Loft (Internal)		
4.9.1		Y	Ensure loft area is clean and clear of debris then supply and install rolled loft insulation to a depth of 270mm throughout. Ensure all areas required for proper ventilation of the roof space (such as ventilated soffits) are free from blockage.		
			Total - Reinstatement and redecorations		
5.0			Finishes		

5.1		Y	<p>Allow to supply and install replacement carpet to dining room, stairway and all of 1st floor excluding the bathroom, to include underlay gripper rods and threshold strips.</p> <p>Carpet to be grey low pile, Corfe Twist 196 (Carpet Barn) or similar agreed.</p>		
5.2		Y	Allow to clean site prior to handover.		
			Total - Finishes		

2.5 Tender Summary

TENDER SUMMARY

RE: 13 Hyde Close, Sway, SO41 6AJ

**INTERNAL REFURBISHMENT and PARTIAL REFURBISHMENT OF FIRE
DAMAGED PROPERTY**

SECTION 1.0 – Preliminaries and Preamble £

SECTION 2.0 – Removals and Demolitions £

SECTION 3.0 – Trade Schedules £

SECTION 4.0 – Reinstatement and Redecorations £

SECTION 5.0 – Finishes £

TOTAL TENDER FIGURE £.....

(Exclusive of VAT) CARRIED TO TENDER FOR WORKS

Name of Firm:
.....

Address:
.....

Signed:
.....

Print name:
.....

Position:
.....

All items in the above Tender Summary are deemed to include Contractor’s profit. No tender will be considered if profit is shown separate. For the tender to be considered a complete copy of the Specification must be returned with all the relevant parts filled in and signed.

NOTE:The Council do not bind themselves to accept the lowest or any tender. They will not be responsible for any costs incurred in the preparation of this tender. For this tender to be considered a priced Specification with the following completed and signed must be submitted.

I/WE can complete the works in a period of:

ALL WORKS TO BE COMPLETED BY:.....

Signature:
.....

The Tender should be delivered not later than - 1600 hours on
Friday 27th June 2025 and in accordance with Section 2.20 – Formalities

2.6 Offer

UNCONDITIONAL AND IRREVOCABLE OFFER TO NEW FOREST DISTRICT COUNCIL – TENDER FOR WORKS

Benjamin Curd New Forest District Council Housing Maintenance Appletree Court Beaulieu Road Lyndhurst SO43 7PA	From (tenderer):
---	------------------

Date

Re: 13 Hyde Close, Sway, SO41 6AJ

Having read and carefully considered the Invitation to Tender together with all of the documents listed and supplied therewith:

1. We offer to provide the Council the services specified in this document and to complete the contract in accordance with the Contract Documents and our Tender for the cost of
2. £..... (plus VAT).
3. We confirm we are able to provide the service in full compliance with the Council's specification.
4. We confirm that if our tender is accepted we will, upon demand:

5. a) Produce evidence that all insurance's and compliance certificates with relevant legislation and policy are held and in force and;

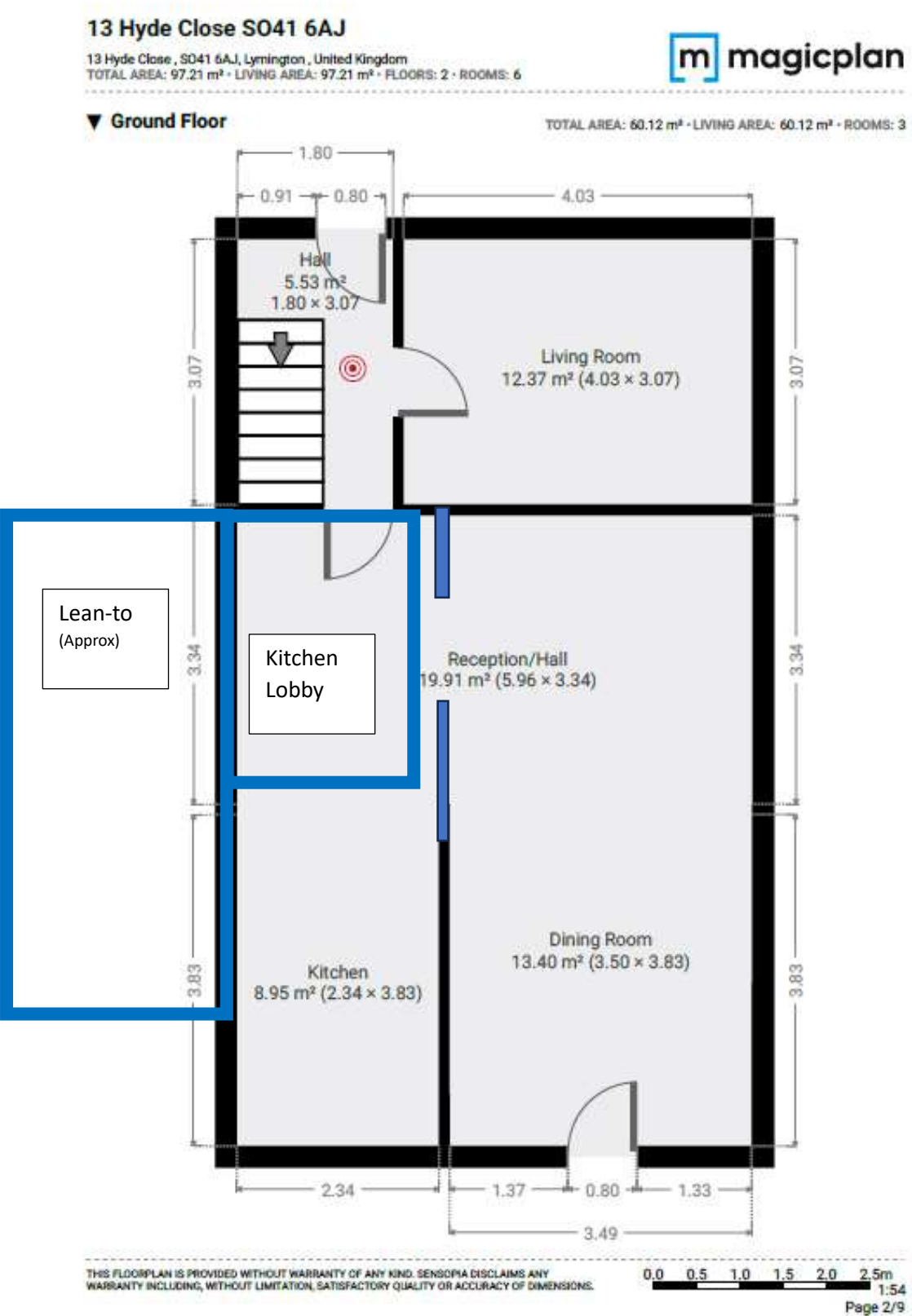
b) Sign formal documentation in the form of the Contract provided with the invitation to tender. This may include a performance guarantee/bond.
6. We agree that this Tender shall constitute an irrevocable, unconditional offer which may not be withdrawn for a period of 90 days from this date.
7. We understand and accept that unless and until a formal Agreement is prepared and executed, no binding contract for the delivery of the goods and services shall exist between us and the Council. We understand the Council is not required to accept our tender or any tender it receives.
8. We confirm that the undersigned are authorised to commit the Tenderer to the contractual obligations contained in the Invitation to Tender and the Contract.

Appendix A

Floor Plans

Note: Broad measurements accurate, however plans differ to layout onsite. Wall dividing kitchen and dining room runs full length. Bathroom is one room containing WC. Large French doors in dining room leading to rear garden. Lean-to not mapped.

Edits by B.CURD in BLUE



(Keystone, 2024)

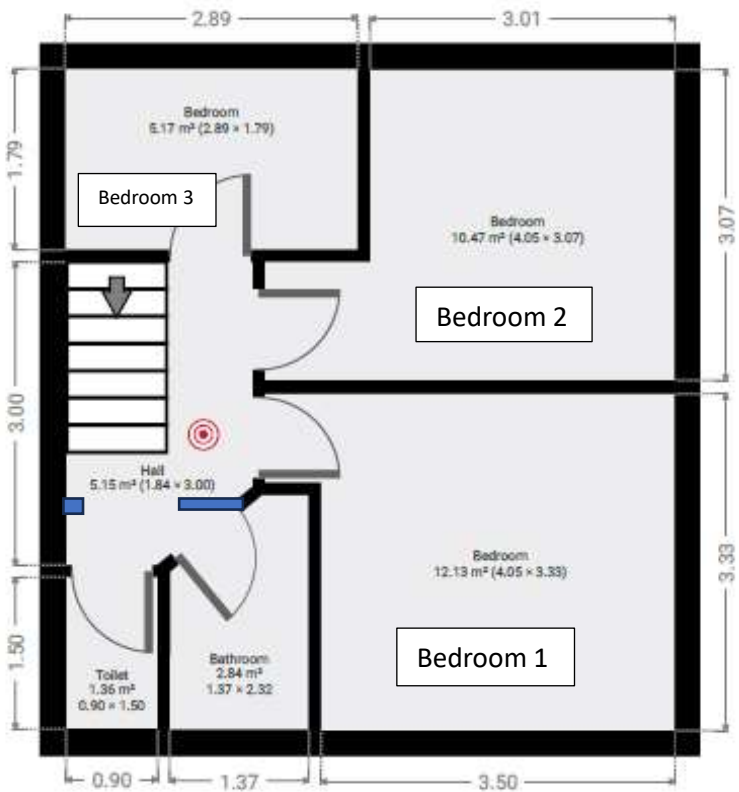
13 Hyde Close SO41 6AJ

13 Hyde Close, SO41 6AJ, Lymington, United Kingdom
TOTAL AREA: 97.21 m² • LIVING AREA: 97.21 m² • FLOORS: 2 • ROOMS: 6

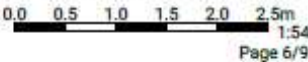


▼ 1st Floor

TOTAL AREA: 37.09 m² • LIVING AREA: 37.09 m² • ROOMS: 3



THIS FLOORPLAN IS PROVIDED WITHOUT WARRANTY OF ANY KIND. SENSORIA DISCLAIMS ANY WARRANTY INCLUDING, WITHOUT LIMITATION, SATISFACTORY QUALITY OR ACCURACY OF DIMENSIONS.

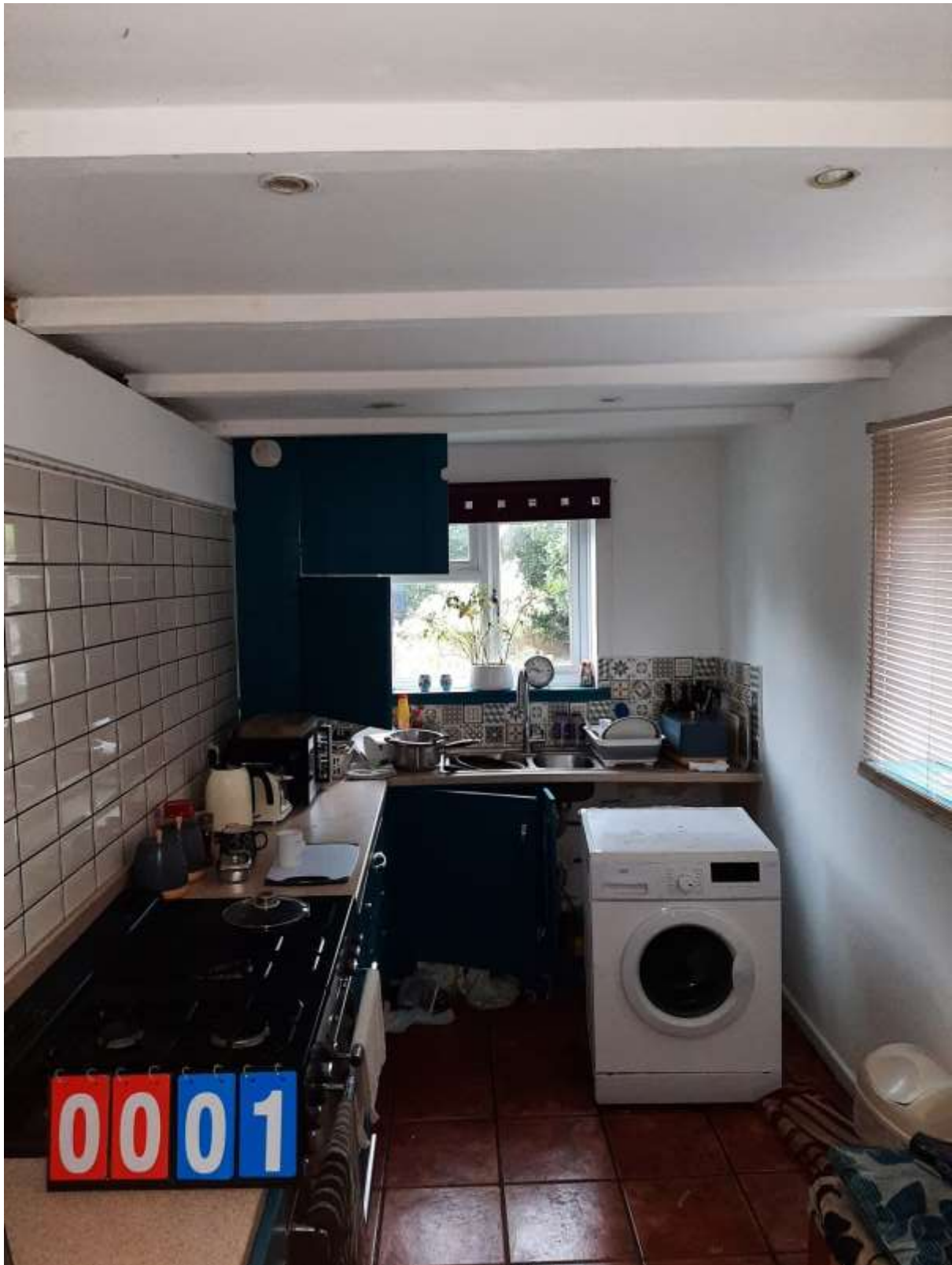


(Keystone, 2024)

Appendix B

Site Images

Unless Stated otherwise, all photos taken by B.Curd on behalf of NFDC.



0001 –Kitchen 19/8/24



0002 – Living Room 19/8/24



0003 – Living Room 19/8/24
57



0004 – Living Room 19/8/24
58



0005 – Boiler (Kitchen) 19/8/24
59



0006 – Washing machine space (Kitchen) 19/8/24



0007 – Kitchen/Hallway. Side entrance to r/h of pictured fridge/freezer. 19/8/24
61



0008 – Kitchen/Hallway, Dining room pictured through doorway. 19/8/24
62



0009 – Kitchen/Hallway, view to side entrance. Lean-to through doorway

19/8/24

63



0010 – Consumer unit by front entrance. 19/8/24
64



0011 – Dining room, view out to rear elevation garden. 19/8/24



0012 – Dining Room, view towards front of property. 19/8/24
66



0013 – Dining Room. 19/8/24



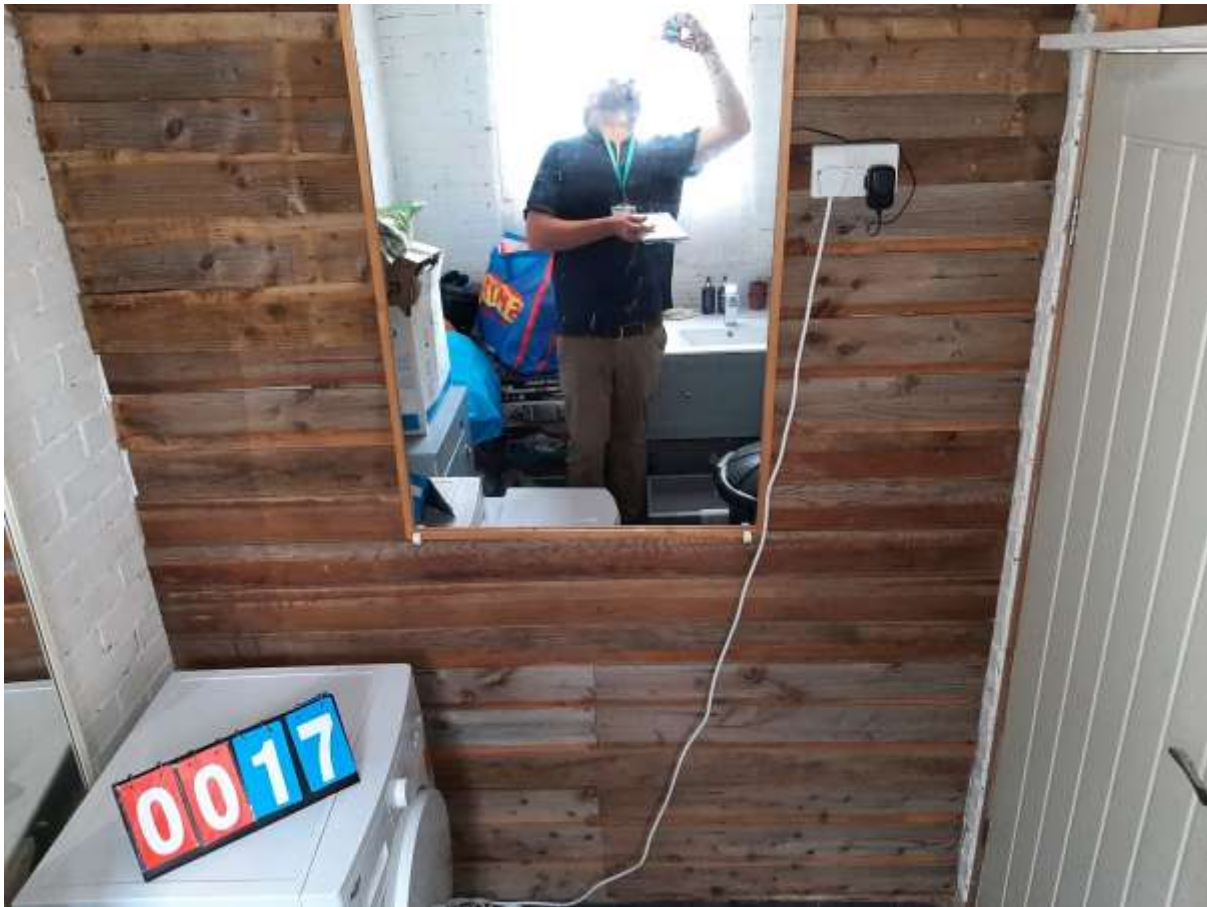
0014 – Dining Room, view out towards kitchen hallway 19/8/24
68



0015 – Lean-to, view from front of property. 19/8/24



0016 – WC room within Lean-to. 19/8/24
70



0017 – WC room within lean-to. 19/8/24



0018 – Bin Store, Lean-to. 19/8/24



0019- Entranceway/Stairwell. View down towards rear elevation and kitchen.

19/8/24

73



0020 – Front Entranceway. Consumer unit top left. 19/8/24



0021 – Top of stairwell. View of Stairlift and bathroom. 19/8/24
75



0022 – Stairlift. 19/8/24



0023 – Stairlift, Serviced by Temple Lifts. 19/8/24



0024 – Bathroom. 19/8/24



0025 – Bathroom. 19/8/24
79



0026 – Bathroom. 19/8/24



0027 – Loft, fire damage in r/h corner of space. 19/8/24
81



0028 – Loft, fire damage visible to rafters. 19/8/24



0029 – Bedroom 1 (top floor rear elevation). 19/8/24



0030 – Top floor hallway. Bedroom 3 pictured straight ahead. Bedroom 1 doorway pictured bottom right. 19/8/24



0031 – Bedroom 2, Window on front elevation. 19/8/24



0032 – Bedroom 2. 19/8/24
86



0033 – Bedroom 2. 19/8/24



0034 – Bedroom 3. Built in storage. 19/8/24
88



0035 – Bedroom 3. 19/8/24



0036 – Bedroom 3. 19/8/24
90



0037 – Rear elevation, fire damage to Bedroom 1 window and roof. 19/8/24



0038 – Front Elevation, damage to soffit/facia. 19/8/24



0039 – Side elevation. Smoke damage to soffit/facia. 19/8/24
93



0040 – Water Damage to Dining room ceiling 21/8/24



0041 – Water damage/cupping to dining room laminate flooring. 21/8/24
95



0042 – Water damage to kitchen hallway ceiling. 21/8/24



0043 – Fire/smoke damage to 1st floor hallway windows. 21/8/24
97


Appendix C – Asbestos Register

Allium Environmental Services Ltd


Management Asbestos Survey, Survey Reference Number: S-34158 , Survey
Date: 19 August 2024

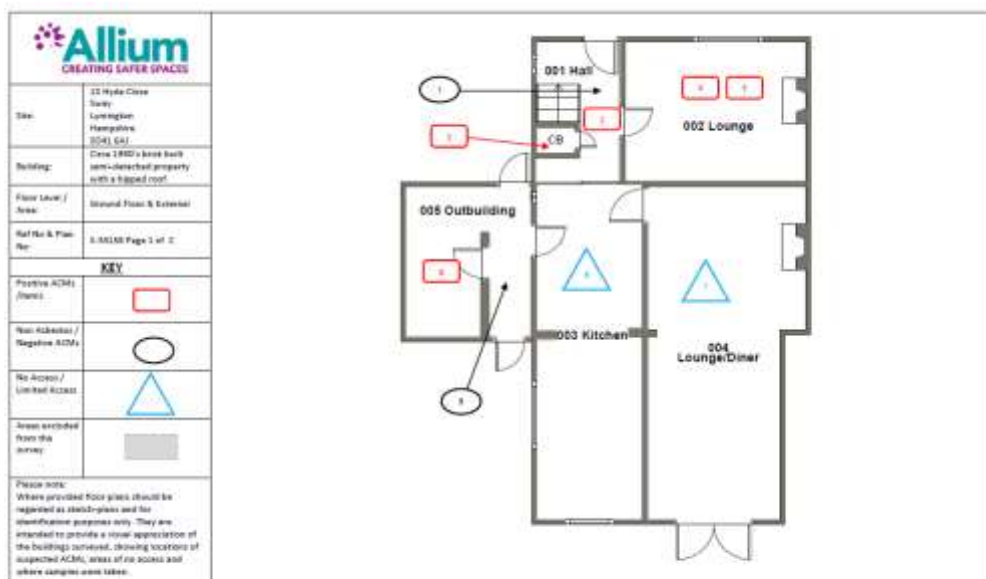
Positive Survey Findings

Reference	2	Product Type (A)	1	
Sample No.	34158/AE/002	Condition (B)	1	
Description	Vinyl Floor Tile & Adhesive - Floor	Surface Treatment (C)	0	
Accessibility	Low	Asbestos Type (D)	1	
Risk Rating	Very Low	Material Score (A+B+C+D)	3	
Extent	5.5m ²	Identification	AD	
Recommendation	Monitor Condition - See section 5.2			
Comments	Brown vinyl floor tiles with adhesive to concrete beneath ceramic tiles. Continues exposed within cupboard.			

Reference	3	Product Type (A)	1	
Sample No.	34158/AE/003	Condition (B)	1	
Description	Cement Panel - Ceiling	Surface Treatment (C)	1	
Accessibility	Low	Asbestos Type (D)	1	
Risk Rating	Very Low	Material Score (A+B+C+D)	4	
Extent	0.5m ²	Identification	AD	
Recommendation	Monitor Condition – See section 5.2			
Comments	Cement panel to cupboard ceiling.			

Positive Survey Findings

Reference	8	Product Type (A)	1	
Sample No	34158/AE/005	Condition (B)	1	
Description	Cement Profiled Sheets - Ceiling	Surface Treatment (C)	1	
Accessibility	Low	Asbestos Type (D)	1	
Risk Rating	Very Low	Material Score (A+B+C+D)	4	
Extent	5m ²	Identification	AD	
Recommendation	Monitor Condition – See section 5.2			
Comments	Cement roof sheets.			



• THIS PLAN SHOULD BE READ IN COMBINATION WITH THE MAIN BODY OF THE REPORT AND INDIVIDUAL ITEM RECORDS

Page 28 of 31

000 1 000429

Editor: Environmental Unit

Note: Management Survey doesn't list any positive samples in first floor and loft. Full report to be read and reviewed prior to any works.

(Allium, Management Survey, Aug 2024)

Appendix D – Specifications

Appendix D2 – Decoration Specification

GENERAL: All painting and decoration works to comply with BS 6150: 2006 in respect of materials and workmanship. BS 8000-12 1989 Code of Practice for decorative wall coverings and painting.

All paints are to be manufactured by Dulux Limited or equally approved. All paint shall be mixed and applied in accordance with the manufacturers instructions and not altered or thinned without the contractor Administrators written approval. Emulsion paint shall not be used as an undercoat for gloss paint and the use of any paint containing lead will not be permitted.

Prior to painting, remove all surface fixed architectural ironmongery and other removable fittings before surface preparations commence, replace re-fix upon completion.

Clean, fill and rub down all surfaces receiving decorative finish with fine glass paper or similar, achieving a smooth surface prior to applying each coat and successive coats. All knotting to be applied in two thin coats.

Previously painted woodwork shall be thoroughly washed down with soap and water. Areas of soft, crazed, blistered or flaking paint shall be removed completely back to a firm edged and feathered off. Exposed woodwork rubbed down, Knotted, primed and bought forward with one undercoat and finished with one gloss coat.

Existing papered wall surfaces are to be stripped back to expose the plaster face. All defective exposed plaster is to be cut out and made good, slight imperfections filled with approved filler, large cracks are to be cut out and with filled with plaster. All new plaster work to receive an approved plaster sealing primer / mist coat before decoration commences.

All walls and ceilings to receive primer and three coats of emulsion.

Colours: Dulux ICI Brand

White Matt Emulsion to ceilings

Magnolia Matt Emulsion to all other rooms.

White Undercoat and Gloss coat to all woodwork.

Appendix E – REA Structural Report (attached as separate Document)